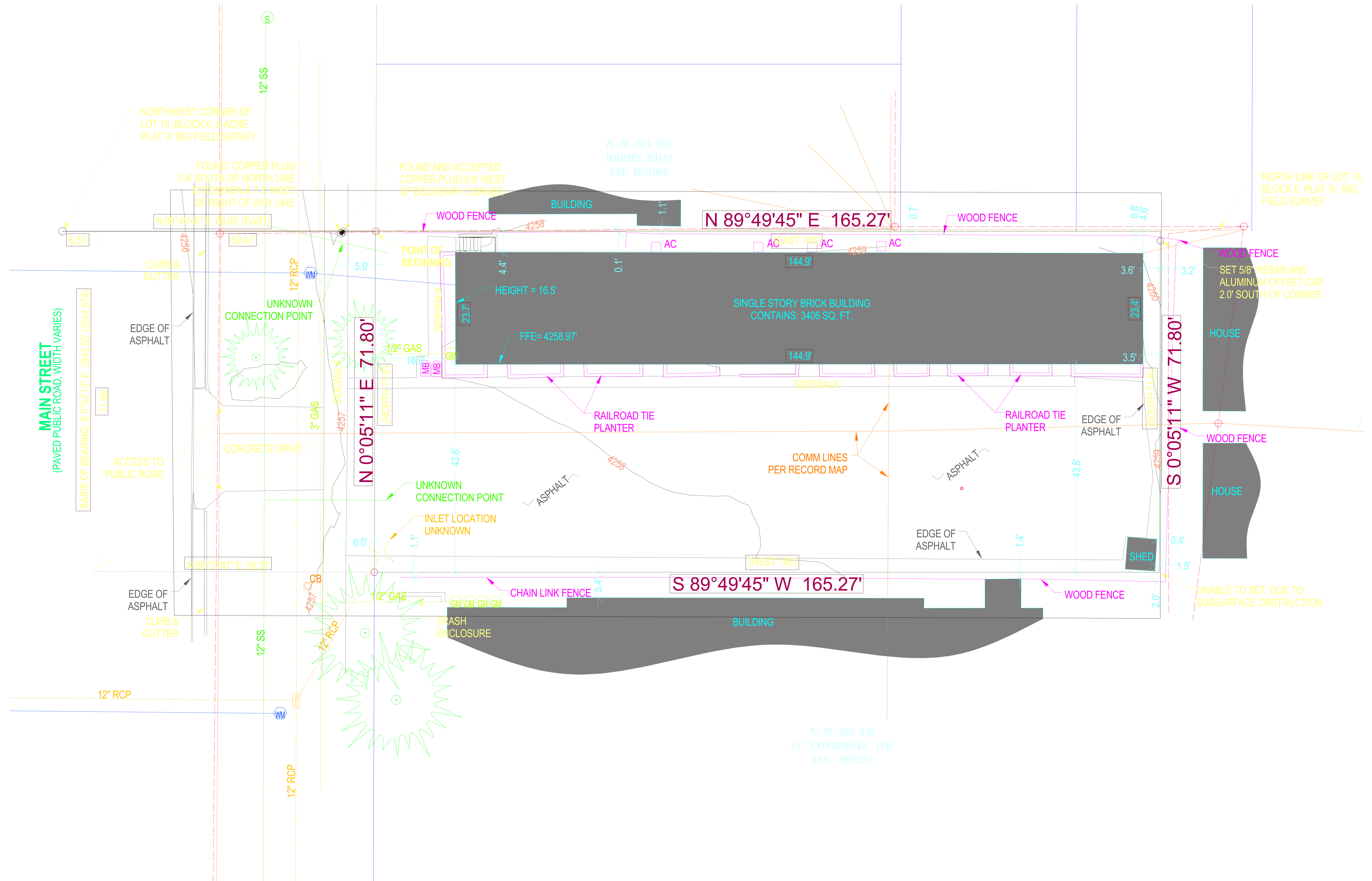




ALLIANCE HOUSE

1805 S. MAIN STREET
SALT LAKE CITY, UTAH

29 DEC. 2022



EXISTING SURVEY
1/8" = 1'-0"

1
D001



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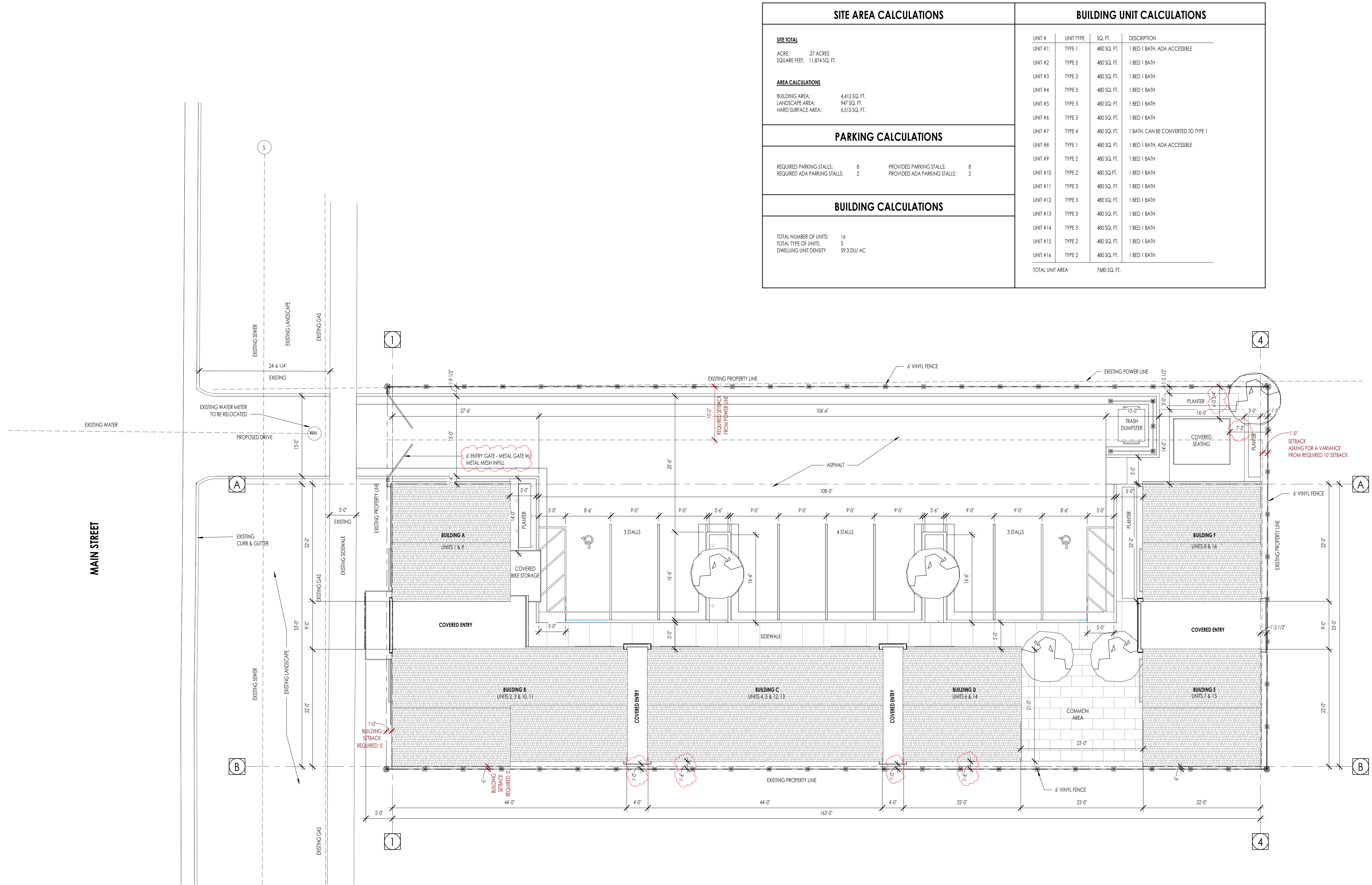
ALLIANCE HOUSE

1805 S. MAIN STREET
SALT LAKE CITY, UTAH



EXISTING SURVEY

D001

29 DEC. 2022



SITE AREA CALCULATIONS		BUILDING UNIT CALCULATIONS			
SITE TOTAL		UNIT #	UNIT TYPE	SQ. FT.	DESCRIPTION
ACRE:	27 ACRES	UNIT #1:	TYPE 1	480 SQ. FT.	1 BED 1 BATH, ADA ACCESSIBLE
SQUARE FEET:	11,874 SQ. FT.	UNIT #2	TYPE 2	480 SQ. FT.	1 BED 1 BATH
AREA CALCULATIONS		UNIT #3	TYPE 3	480 SQ. FT.	1 BED 1 BATH
BUILDING AREA:	4,412 SQ. FT.	UNIT #4	TYPE 3	480 SQ. FT.	1 BED 1 BATH
LANDSCAPE AREA:	947 SQ. FT.	UNIT #5	TYPE 3	480 SQ. FT.	1 BED 1 BATH
HARD SURFACE AREA:	6,515 SQ. FT.	UNIT #6	TYPE 3	480 SQ. FT.	1 BED 1 BATH
PARKING CALCULATIONS		UNIT #7	TYPE 4	480 SQ. FT.	1 BATH, CAN BE CONVERTED TO TYPE 1
		UNIT #8	TYPE 1	480 SQ. FT.	1 BED 1 BATH, ADA ACCESSIBLE
REQUIRED PARKING STALLS:	8	UNIT #9	TYPE 2	480 SQ. FT.	1 BED 1 BATH
REQUIRED ADA PARKING STALLS:	2	UNIT #10	TYPE 2	480 SQ. FT.	1 BED 1 BATH
BUILDING CALCULATIONS		UNIT #11	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #12	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #13	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #14	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #15	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		UNIT #16	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		TOTAL UNIT AREA		7680 SQ. FT.	
TOTAL NUMBER OF UNITS:		16			
TOTAL TYPE OF UNITS:		3			
DWELLING UNIT DENSITY		59.3 DU/ AC			

ARCHITECT		LANDSCAPE ARCHITECT		CIVIL ENGINEER	
	THINK ARCHITECTURE: 7927 SOUTH HIGH POINT WAY, SUITE 300 SANDY, UT 84094 801.269.0055		THINK ARCHITECTURE: 7927 SOUTH HIGH POINT WAY, SUITE 300 SANDY, UT 84094 801.269.0055		MCNEIL ENGINEERING: TED DIDAS 8410 SANDY PARKWAY, SUITE 200 SANDY, UT 84070 801.255.7700



SITE PLAN - PRESENTATION
1/8" = 1'-0"

1
D002

ALLIANCE HOUSE

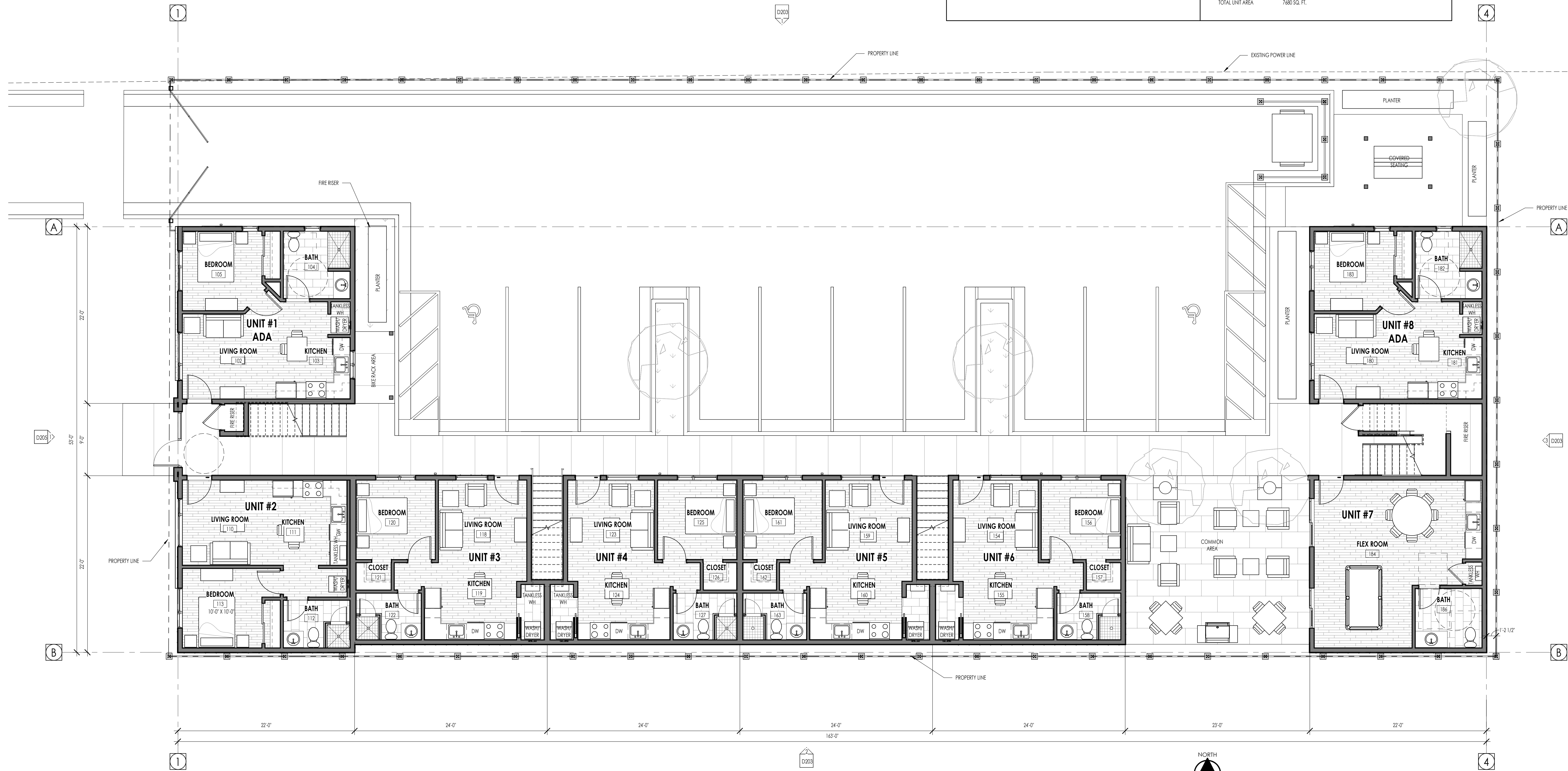
1805 S. MAIN STREET
SALT LAKE CITY, UTAH

SITE PLAN

D002

29 DEC. 2022

SITE AREA CALCULATIONS		BUILDING UNIT CALCULATIONS			
<u>SITE TOTAL</u>		UNIT #	UNIT TYPE	SQ. FT.	DESCRIPTION
ACRE: .27 ACRES		UNIT #1:	TYPE 1	480 SQ. FT.	1 BED 1 BATH, ADA ACCESSIBLE
SQUARE FEET: 11,874 SQ. FT.		UNIT #2	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		UNIT #3	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #4	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #5	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #6	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #7	TYPE 4	480 SQ. FT.	1 BATH, CAN BE CONVERTED TO TYPE 1
		UNIT #8	TYPE 1	480 SQ. FT.	1 BED 1 BATH, ADA ACCESSIBLE
		UNIT #9	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		UNIT #10	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		UNIT #11	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #12	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #13	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #14	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #15	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		UNIT #16	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		TOTAL UNIT AREA		7680 SQ. FT.	
<u>AREA CALCULATIONS</u>					
BUILDING AREA: 4,412 SQ. FT.					
LANDSCAPE AREA: 947 SQ. FT.					
HARD SURFACE AREA: 6,515 SQ. FT.					
PARKING CALCULATIONS					
REQUIRED PARKING STALLS: 8		PROVIDED PARKING STALLS: 8			
REQUIRED ADA PARKING STALLS: 2		PROVIDED ADA PARKING STALLS: 2			
BUILDING CALCULATIONS					
TOTAL NUMBER OF UNITS: 16					
TOTAL TYPE OF UNITS: 3					
DWELLING UNIT DENSITY 59.3 DU/ AC					



LEVEL 1 - FLOOR PLAN PRESENTATION
3/16" = 1'-0"

1
D101

SITE AREA CALCULATIONS		BUILDING UNIT CALCULATIONS			
SITE TOTAL		UNIT #	UNIT TYPE	SQ. FT.	DESCRIPTION
ACRE: .27 ACRES		UNIT #1:	TYPE 1	480 SQ. FT.	1 BED 1 BATH, ADA ACCESSIBLE
SQUARE FEET: 11,874 SQ. FT.		UNIT #2	TYPE 2	480 SQ. FT.	1 BED 1 BATH
AREA CALCULATIONS		UNIT #3	TYPE 3	480 SQ. FT.	1 BED 1 BATH
BUILDING AREA: 4,412 SQ. FT.		UNIT #4	TYPE 3	480 SQ. FT.	1 BED 1 BATH
LANDSCAPE AREA: 947 SQ. FT.		UNIT #5	TYPE 3	480 SQ. FT.	1 BED 1 BATH
HARD SURFACE AREA: 6,515 SQ. FT.		UNIT #6	TYPE 3	480 SQ. FT.	1 BED 1 BATH
PARKING CALCULATIONS		UNIT #7	TYPE 4	480 SQ. FT.	1 BATH, CAN BE CONVERTED TO TYPE 1
REQUIRED PARKING STALLS: 8		UNIT #8	TYPE 1	480 SQ. FT.	1 BED 1 BATH, ADA ACCESSIBLE
REQUIRED ADA PARKING STALLS: 2		UNIT #9	TYPE 2	480 SQ. FT.	1 BED 1 BATH
BUILDING CALCULATIONS		UNIT #10	TYPE 2	480 SQ. FT.	1 BED 1 BATH
TOTAL NUMBER OF UNITS: 16		UNIT #11	TYPE 3	480 SQ. FT.	1 BED 1 BATH
TOTAL TYPE OF UNITS: 3		UNIT #12	TYPE 3	480 SQ. FT.	1 BED 1 BATH
DWELLING UNIT DENSITY: 59.3 DU/AC		UNIT #13	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #14	TYPE 3	480 SQ. FT.	1 BED 1 BATH
		UNIT #15	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		UNIT #16	TYPE 2	480 SQ. FT.	1 BED 1 BATH
		TOTAL UNIT AREA		7680 SQ. FT.	



LEVEL 2 - FLOOR PLAN PRESENTATION
3/16" = 1'-0"

1
D102



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ALLIANCE HOUSE

1805 S. MAIN STREET
SALT LAKE CITY, UTAH

ROOF PLAN - PRESENTATION
3/16" = 1'-0"

1
D103

ROOF PLAN

D103

29 DEC. 2022



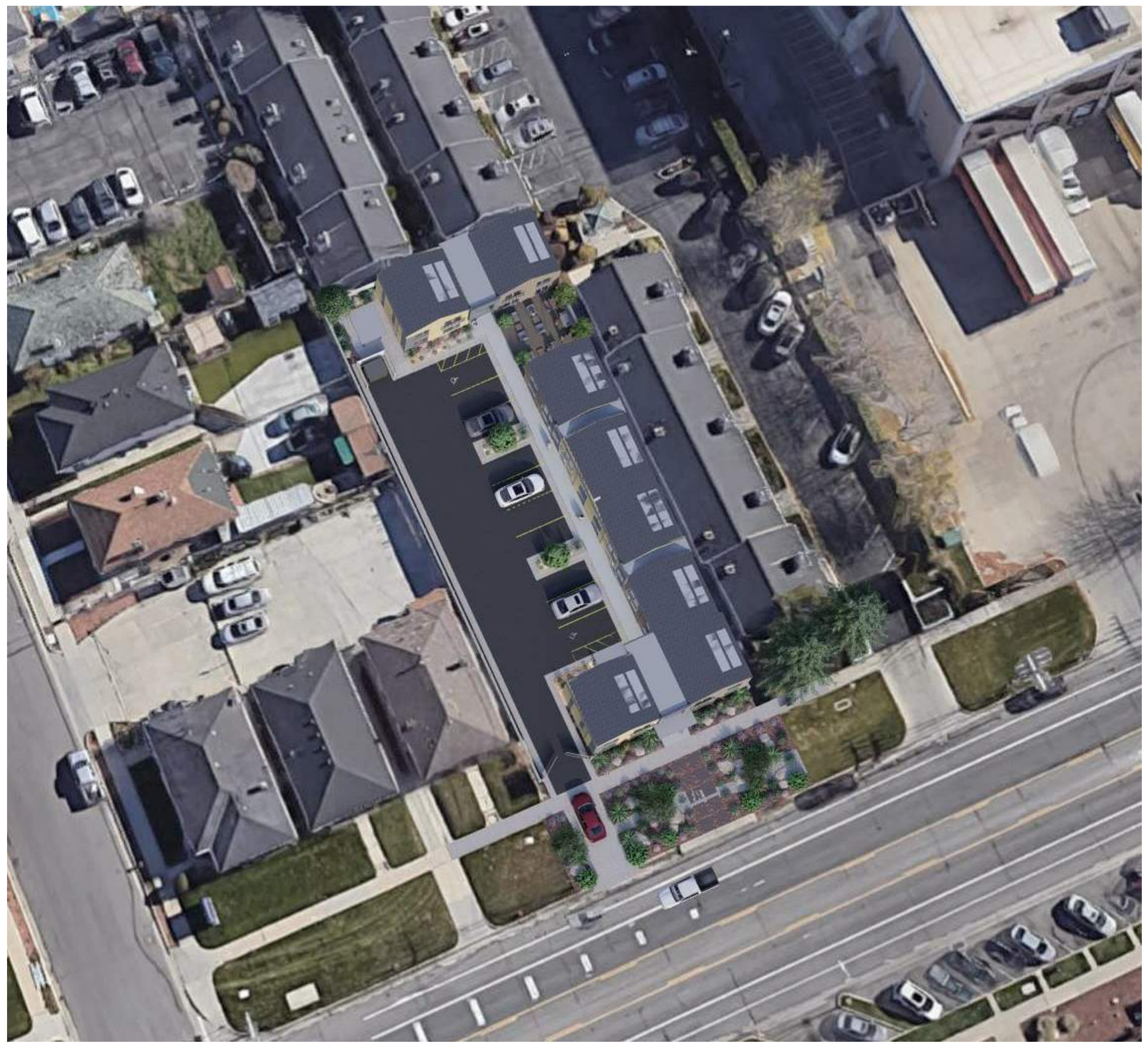
ALLIANCE HOUSE

1805 S. MAIN STREET
SALT LAKE CITY, UTAH

EXTERIOR VIEWS

D201

29 DEC. 2022



ALLIANCE HOUSE

1805 S. MAIN STREET
SALT LAKE CITY, UTAH

EXTERIOR VIEWS

D202

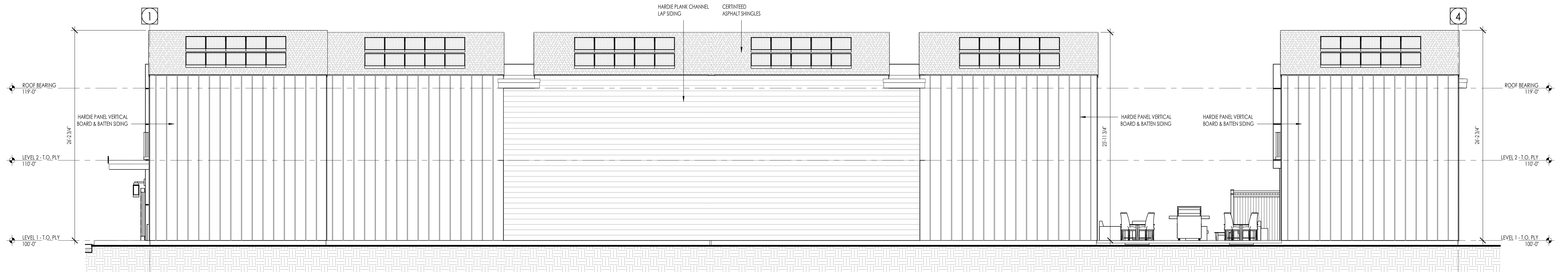
29 DEC. 2022



NORTH ELEVATION DD

3/16" = 1'-0"

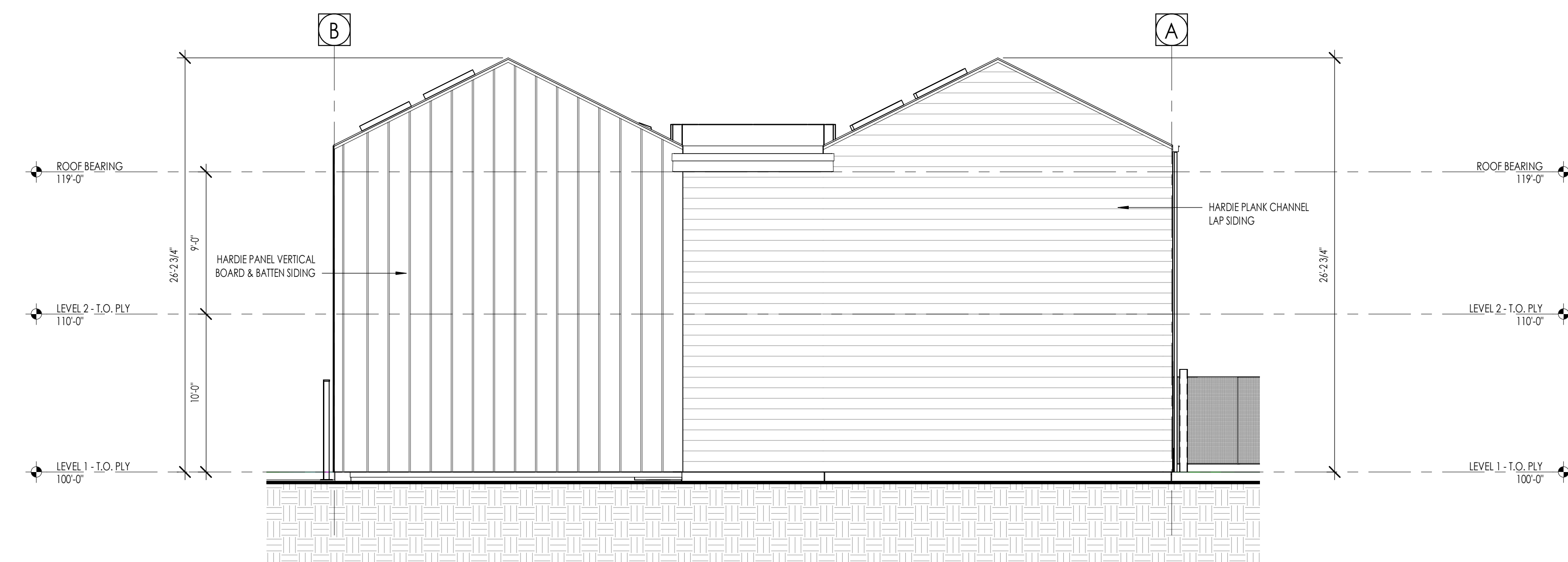
1
D203



SOUTH ELEVATION DD

3/16" = 1'-0"

2
D203



EAST ELEVATION DD

3/16" = 1'-0"

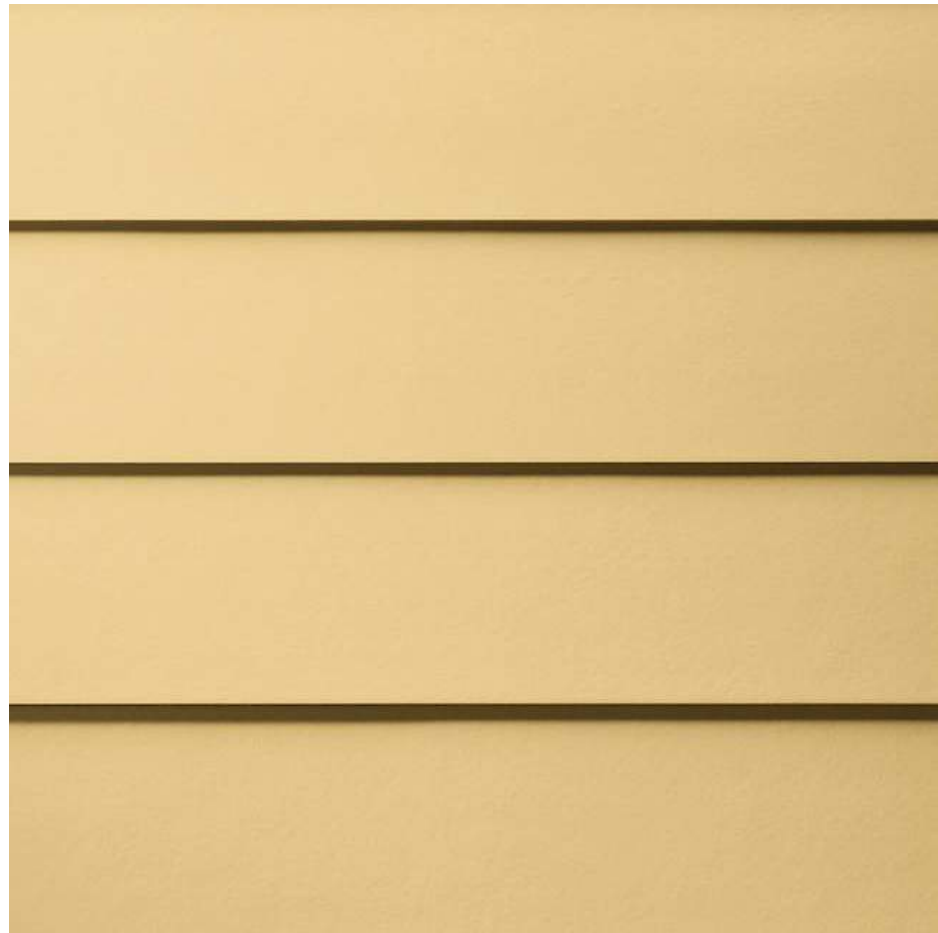
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D203



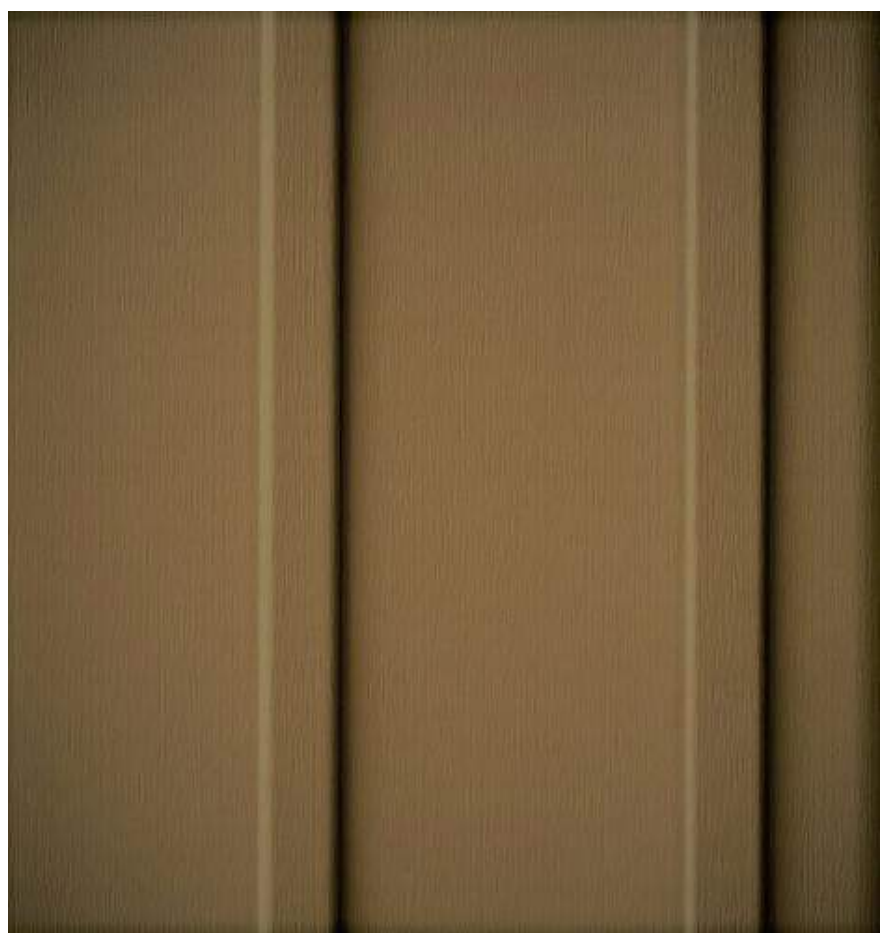
WEST ELEVATION DD

3/16" = 1'-0"

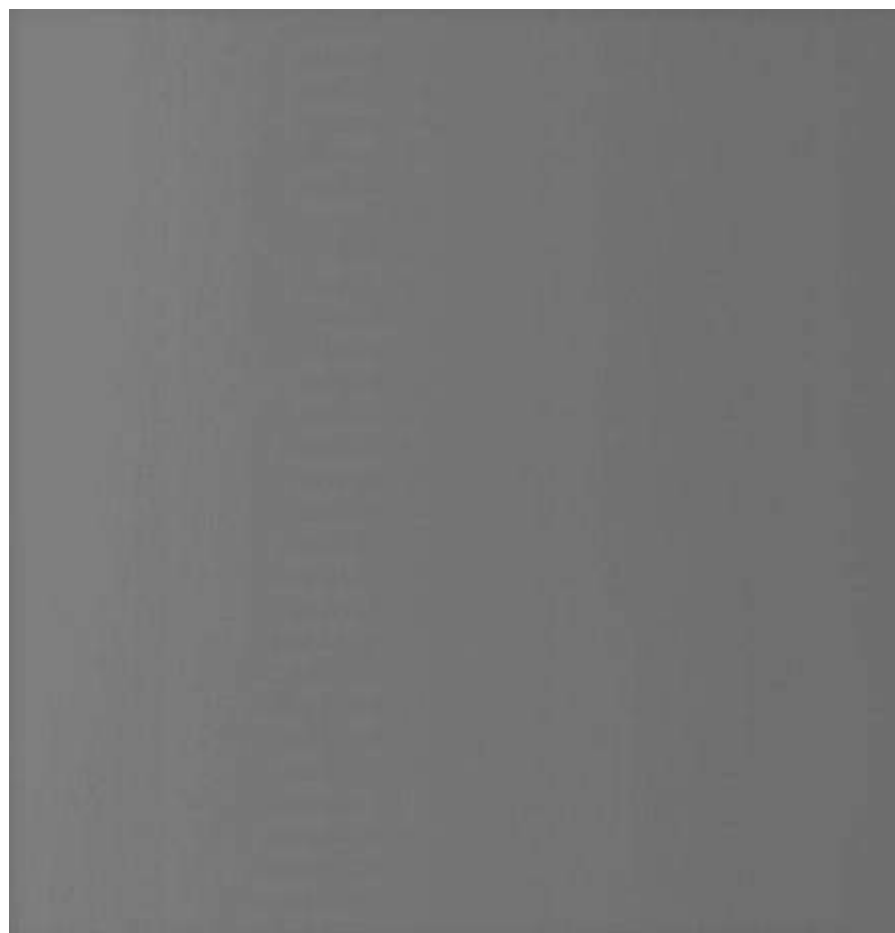
4
D203



HARDIE PLANK CHANNEL LAP SIDING
COLOR: BENJAMIN MOORE - CONCORD IVORY
OR SIMILAR APPROVED COLOR



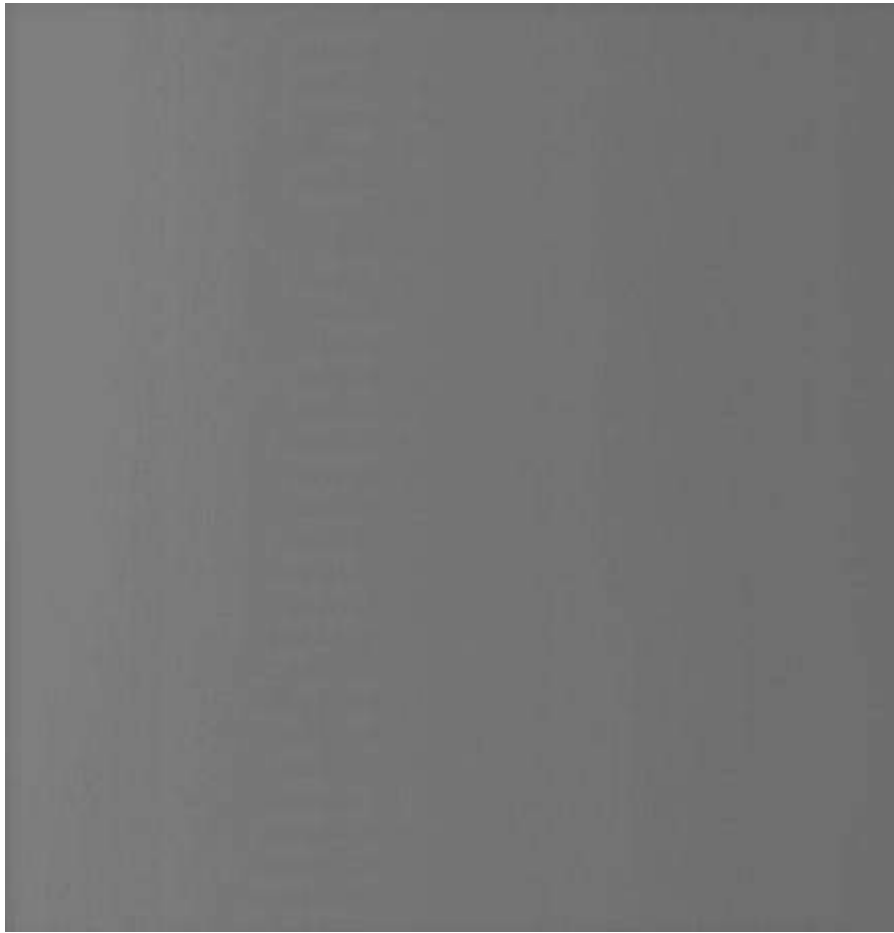
HARDIE PANEL VERTICAL BOARD & BATTEN SIDING
COLOR: BENJAMIN MOORE - TOASTED MARSHMALLOW
OR SIMILAR APPROVED COLOR



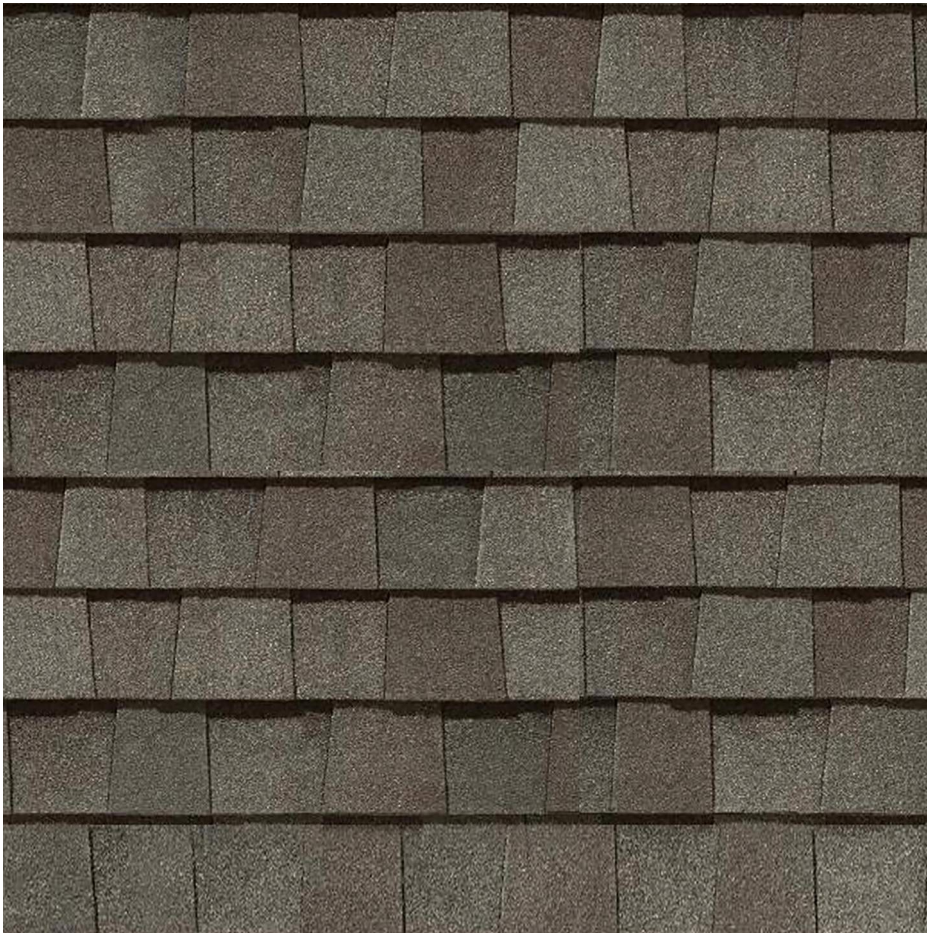
HARDIE ARCHITECTURAL PANEL
TYPE: FINE SAND
COLOR: BENJAMIN MOORE - CINDER
OR SIMILAR APPROVED COLOR



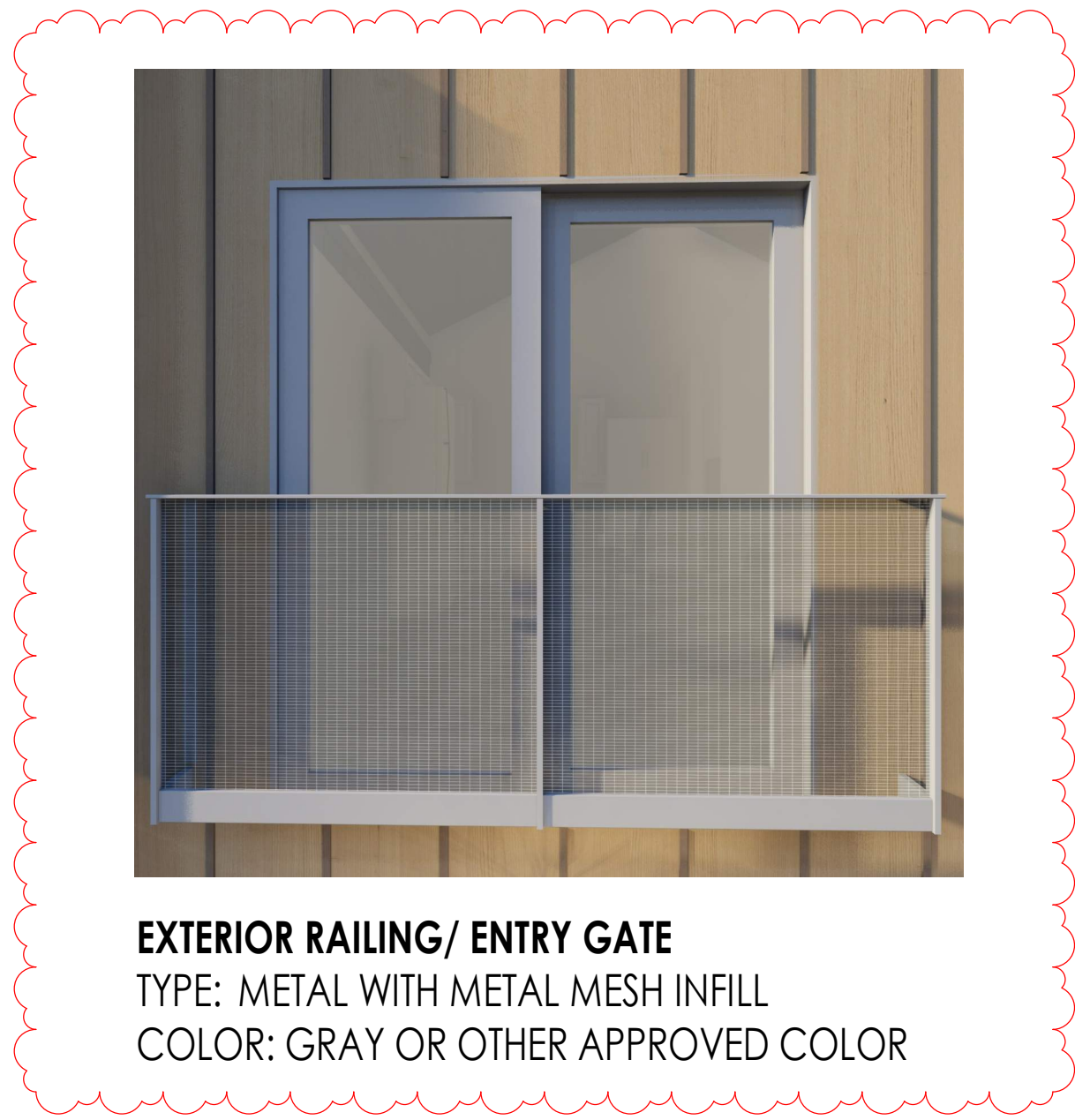
EXTERIOR VINYL WINDOWS
COLOR: BENJAMIN MOORE - CINDER
OR SIMILAR APPROVED COLOR



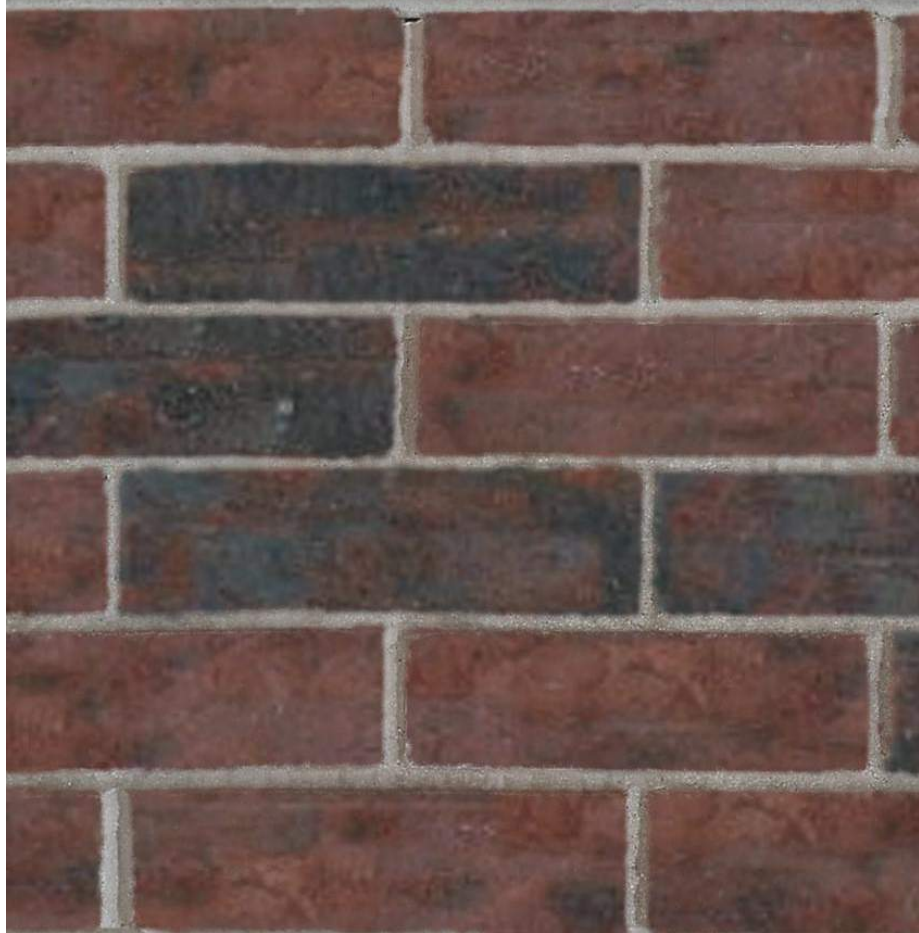
HARDIE TRIM BOARD
TRIM & FASCIA
COLOR: BENJAMIN MOORE - CINDER
OR SIMILAR APPROVED COLOR



CETINTEED ASPHALT SHINGLES
ROOFING SYSTEM
COLOR: WEATHERED WOOD



EXTERIOR RAILING/ ENTRY GATE
TYPE: METAL WITH METAL MESH INFILL
COLOR: GRAY OR OTHER APPROVED COLOR



MASONRY FULL BRICK SYSTEM
TYPE: 'INTERSTATE BRICK' FACE BRICK - DARTMOUTH
OR SIMILAR APPROVED TYPE



EXTERIOR ALUMINUM STOREFRONT SYSTEMS
COLOR: BENJAMIN MOORE - CINDER
OR SIMILAR APPROVED COLOR



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ALLIANCE HOUSE

1805 S. MAIN STREET
SALT LAKE CITY, UTAH



MATERIAL BOARD

D204

29 DEC. 2022

12/29/2022 10:57:17 AM



COLOR LEGEND		GLASS PERCENTAGE CALCULATION
HATCH	DESCRIPTION	
	GLASS	EXTERIOR WALL: 848 SQ. FT. GLASS: 372 SQ. FT. TOTAL: 1,220 SQ. FT. GLASS PERCENTAGE: 30%
	EXTERIOR WALL	

WEST ELEVATION EXHIBIT

3/16" = 1'-0"

1
D205



Architecture

Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway
Suite 300
Sandy, Utah 84094
ph. 801.269.0055
fax 801.269.1425
www.thinkaec.com

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1805 S. MAIN STREET
SALT LAKE CITY, UTAH

PROJECT NO. 22-000

DATE: 29 DEC. 2022

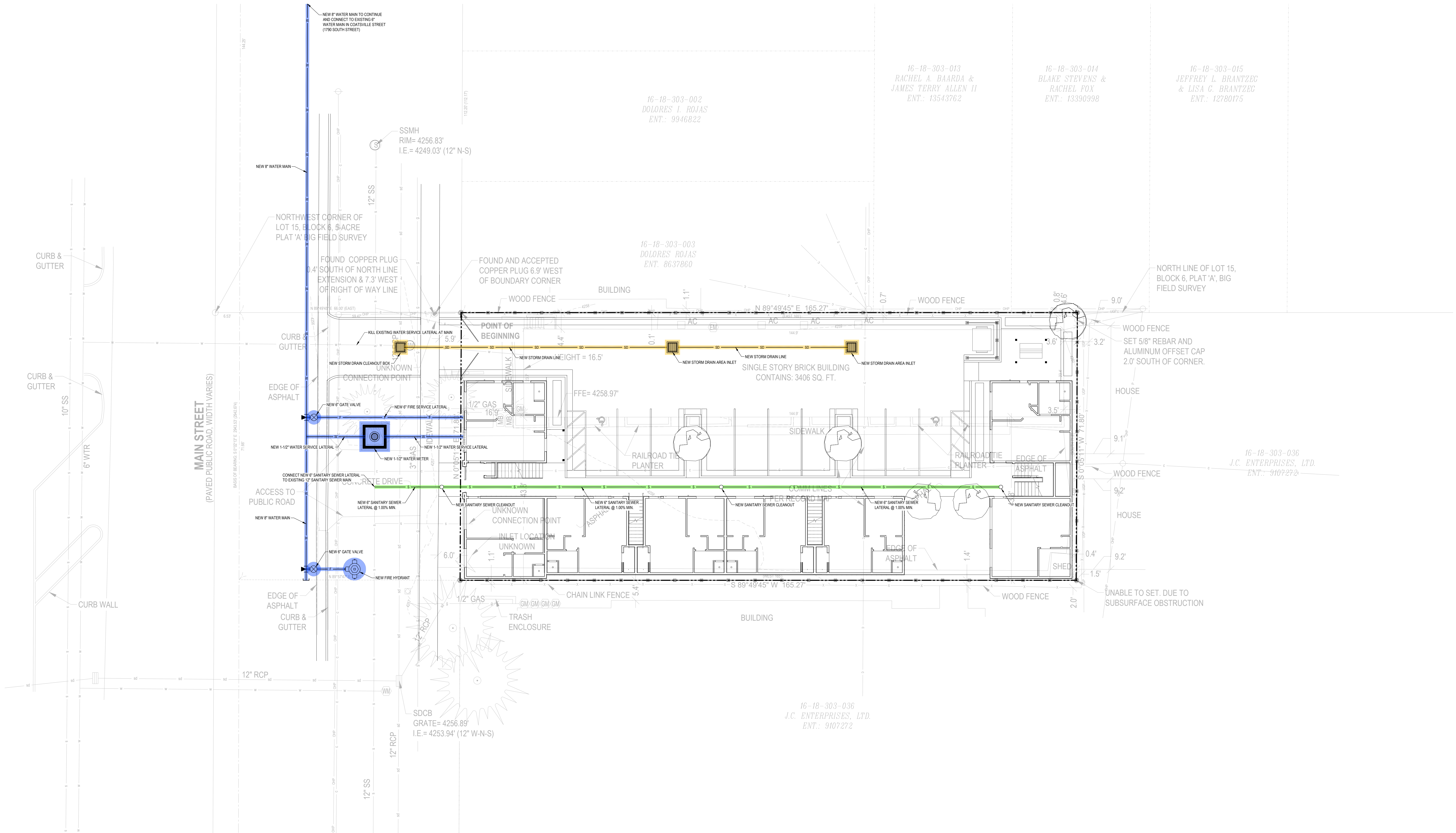
REVISIONS:

SHEET TITLE:
WEST ELEVATION
EXHIBIT

SHEET NUMBER:
D205

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DRAWING STATUS



ARCHITECT		LANDSCAPE ARCHITECT	CIVIL ENGINEER
	THINK ARCHITECTURE: 1721 SOUTH HIGH PLAIN WAY, SUITE 300 SANDY, UT 84094 801.269.0055		THINK ARCHITECTURE: 1721 SOUTH HIGH PLAIN WAY, SUITE 300 SANDY, UT 84094 801.269.0055
			MCNEIL ENGINEERING: 1521 UDAS 8810 SANDY PARKWAY, SUITE 200 SANDY, UT 84070 801.255.7700

CONCEPTUAL CIVIL SITE PLAN
1" = 10'



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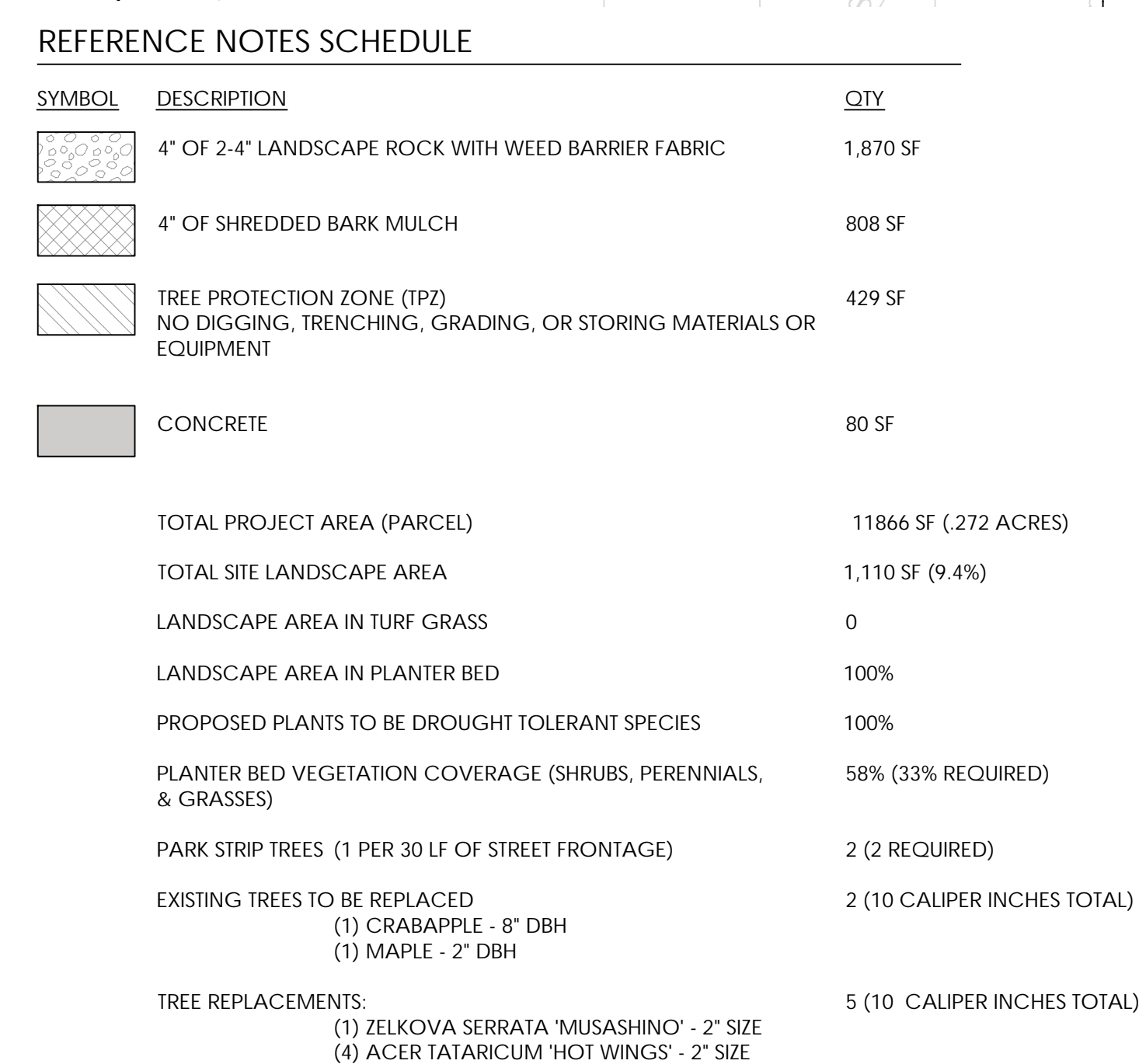
ALLIANCE HOUSE

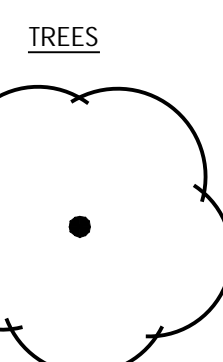
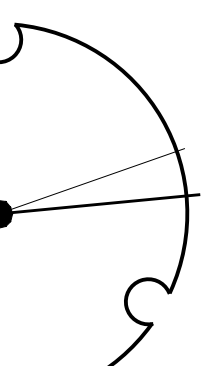
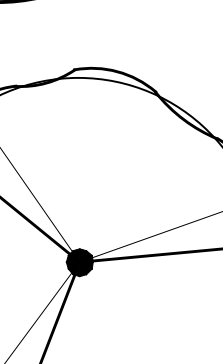

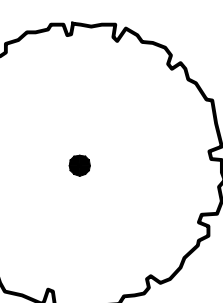
1805 S. MAIN STREET
SALT LAKE CITY, UTAH







CONCEPTUAL
CIVIL SITE
PLAN

CPT-1

12 DEC. 2022



TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HYDROZONE
	AE2	4	ACER TATARICUM 'HOT WINGS' TATARIAN MAPLE	2" CAL.	B&B	TD3
	AU	2	ACER TRUNCATUM X PLATANOIDES 'JFS-KW187' TM URBAN SUNSET MAPLE	2" CAL.	B&B	TD3
	MS	1	MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" CAL.	B&B	
	ZM	2	ZELKOVA SERRATA 'MUSASHINO' MUSASHINO JAPANESE ZELKOVA	2" CAL.	B&B	TD4
	ZM2	1	ZELKOVA SERRATA 'MUSASHINO' MUSASHINO JAPANESE ZELKOVA	3" CAL.	B&B	TD4

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FIELD2
	CCB	6	CARYOPTERIS CLANDONENSIS BLUE MIST SPIRAEA	5 GAL.	SD2
	PMP	6	PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5 GAL.	SE2
	PA3	4	POTENTILLA FRUTICOSA 'ABBOTSWOOD' ABBOTSWOOD BUSH CINQUEFOIL	5 GAL.	SD2
	RFC	6	RHAMNUS FRANGULA 'COLUMNARIS' ALDER BUCKTHORN	5 GAL.	SD3
	RO	6	RHUS GLABRA 'GRO-LOW' FRAGRANT SUMAC	5 GAL.	GV1
	RAU	6	RIBES AUREUM GOLDEN CURRANT	5 GAL.	SD2
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FIELD2
	CAK	24	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	1 GAL.	TW2
	MSY	4	MISCANTHUS SINENSIS 'YAKU JIMA' MAIDENHAIR GRASS	1 GAL.	TW2
	PAH	6	PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	1 GAL.	TW2
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FIELD2
	GAA	10	GAILLARDIA ARISTATA BLANKET FLOWER	1 GAL.	P1
	GLC	10	GAURA LINDHEIMER PINK GAURA	1 GAL.	P1
	NFJ	21	NEPETA FAASSENII 'JUNIOR WALKER' CATMINT	1 GAL.	P2
	RFG	12	RUDBECKIA FULGIDA BLACK EYED SUSAN	1 GAL.	P2
	SN	16	SALVIA MEMOROSA 'MAY NIGHT' MAY NIGHT SAGE	1 GAL.	P2

1. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL RELATED EXISTING CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES, INCLUDING DEPTHS, PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COST OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/ STRUCTURES/ETC.
2. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ENCOUNTERED ON SITE AND PLANS, CONTRACTOR IS REQUIRED TO CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH ALL PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES AND HAVE NATURAL FULL SHAPES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO MAINTAIN AND WARRANTY ALL PLANT MATERIALS PER THE SPECIFICATIONS. ALL PLANTS SHALL BE SUBJECT TO OWNER'S APPROVAL PRIOR TO INSTALLATION.
4. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREES.
5. CONTRACTOR TO REMOVE TREE STAKES AT END OF GUARANTEE PERIOD.
6. CONTRACTOR TO PRUNE TREES AS DIRECTED BY LANDSCAPE ARCHITECT FOR PROPER SHAPING OF TREES.
7. REMOVE ALL TAGS, TIES AND FLAGGING FROM ALL PLANT MATERIAL.
8. 8. MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-GRASS AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
9. ALL LAWN/TURF AREAS TO RECEIVE 4" OF TOPSOIL PRIOR TO LAYING SOIL. ALL SHRUB/PERENNIAL PLANTING AREAS TO RECEIVE 12" OF TOPSOIL PRIOR TO PLANTING UNLESS OTHERWISE INDICATED.



7927 High Point Parkway, Suite 300
Sandy, UT 84094
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Fax: 801.269.1425
www.thinkaec.com

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ALLIANCE HOUSE
1805 SOUTH MAIN STREET
SALT LAKE CITY, UT 84115

PROJECT NO. 22038
DATE: DEC. 12, 2022

REVISIONS:

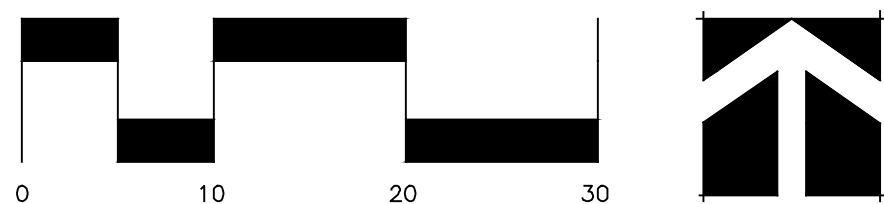
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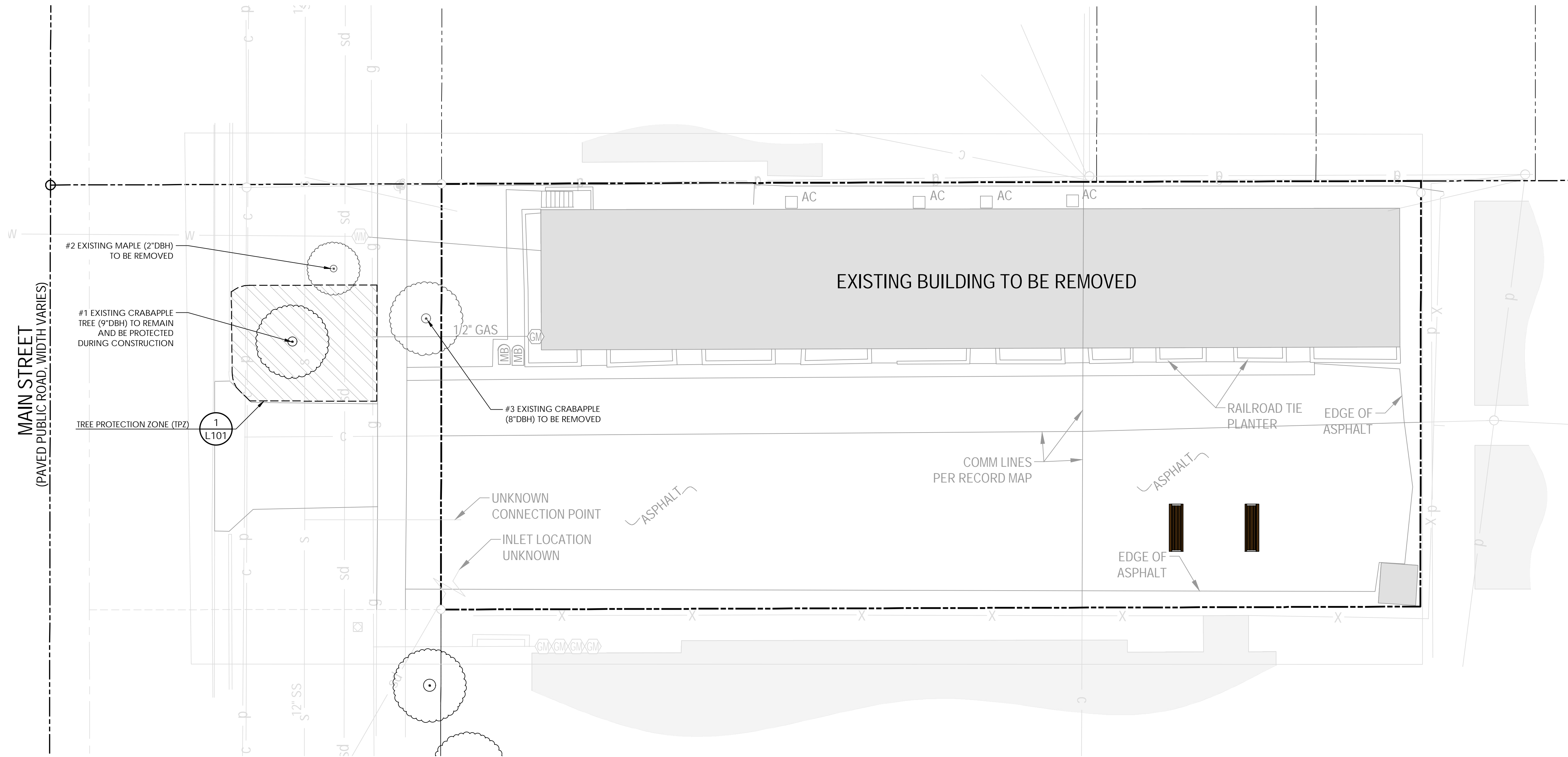
OVERALL LANDSCAPE
PLAN

SHEET NUMBER:

L100

LANDSCAPE





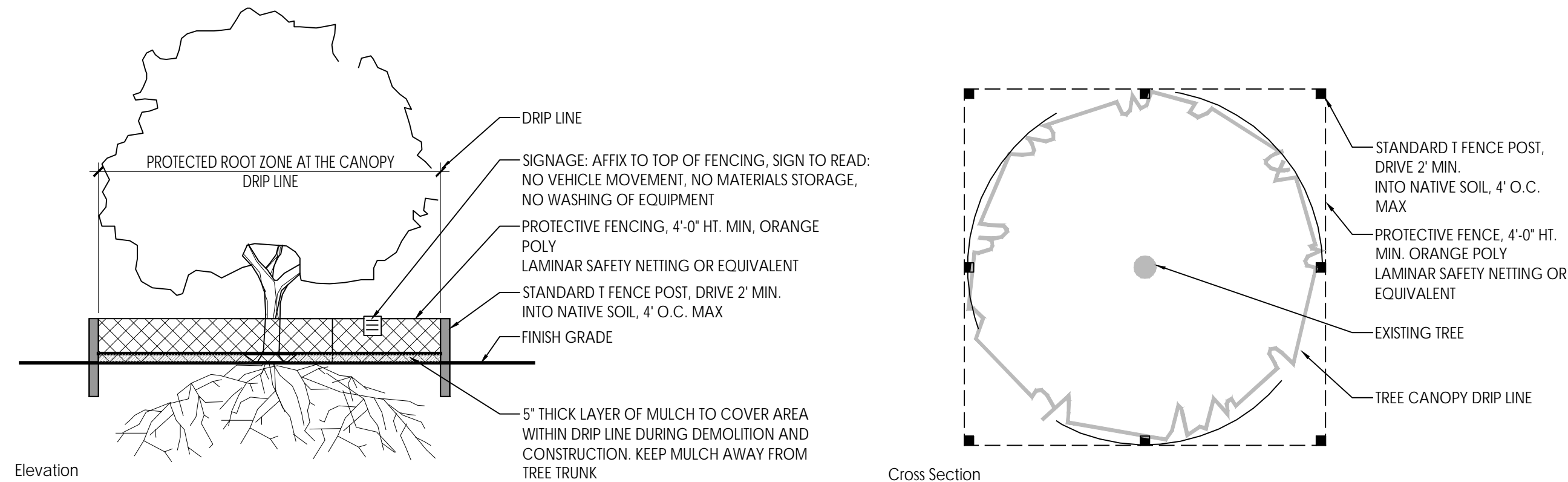
EXISTING PUBLIC TREE INVENTORY

EXISTING PUBLIC TREE INVENTORY			
SYM.	SPECIES	SIZE	DESCRIPTION
#1	CRABAPPLE	9" DBH	MATURE TREE, GOOD CONDITION, TO REMAIN
#2	MAPLE	2" DBH	SMALL TREE, MODERATE CONDITION, TO BE REMOVED FOR PROPOSED DEVELOPMENT
#3	CRABAPPLE	8" DBH	MATURE TREE, GOOD CONDITION, TO BE REMOVED FOR PROPOSED DEVELOPMENT

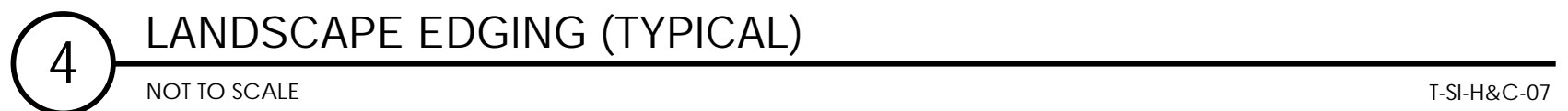
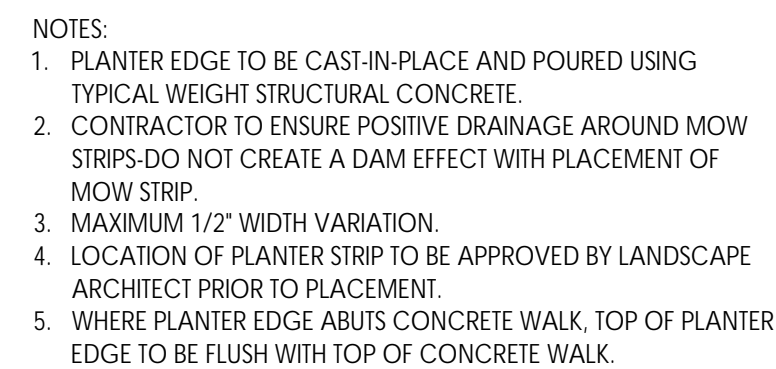
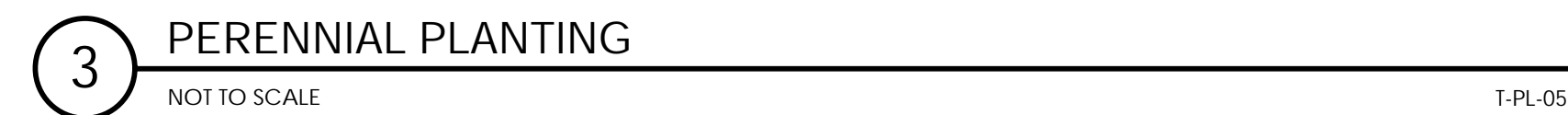
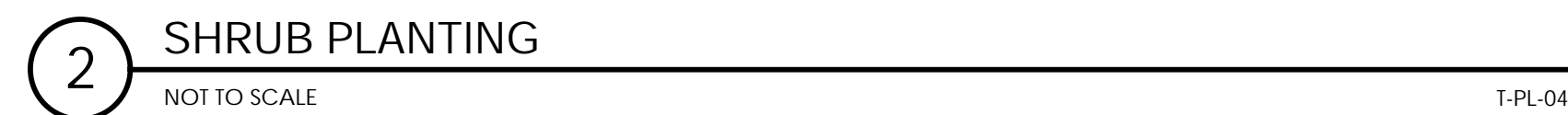
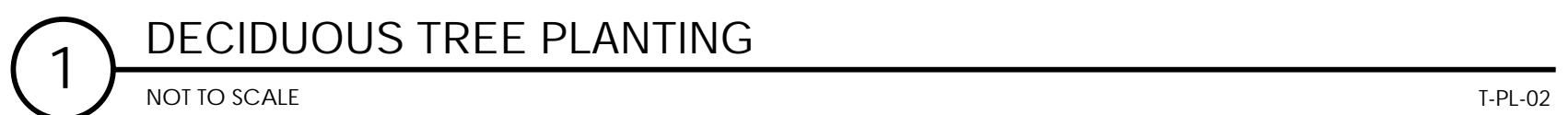
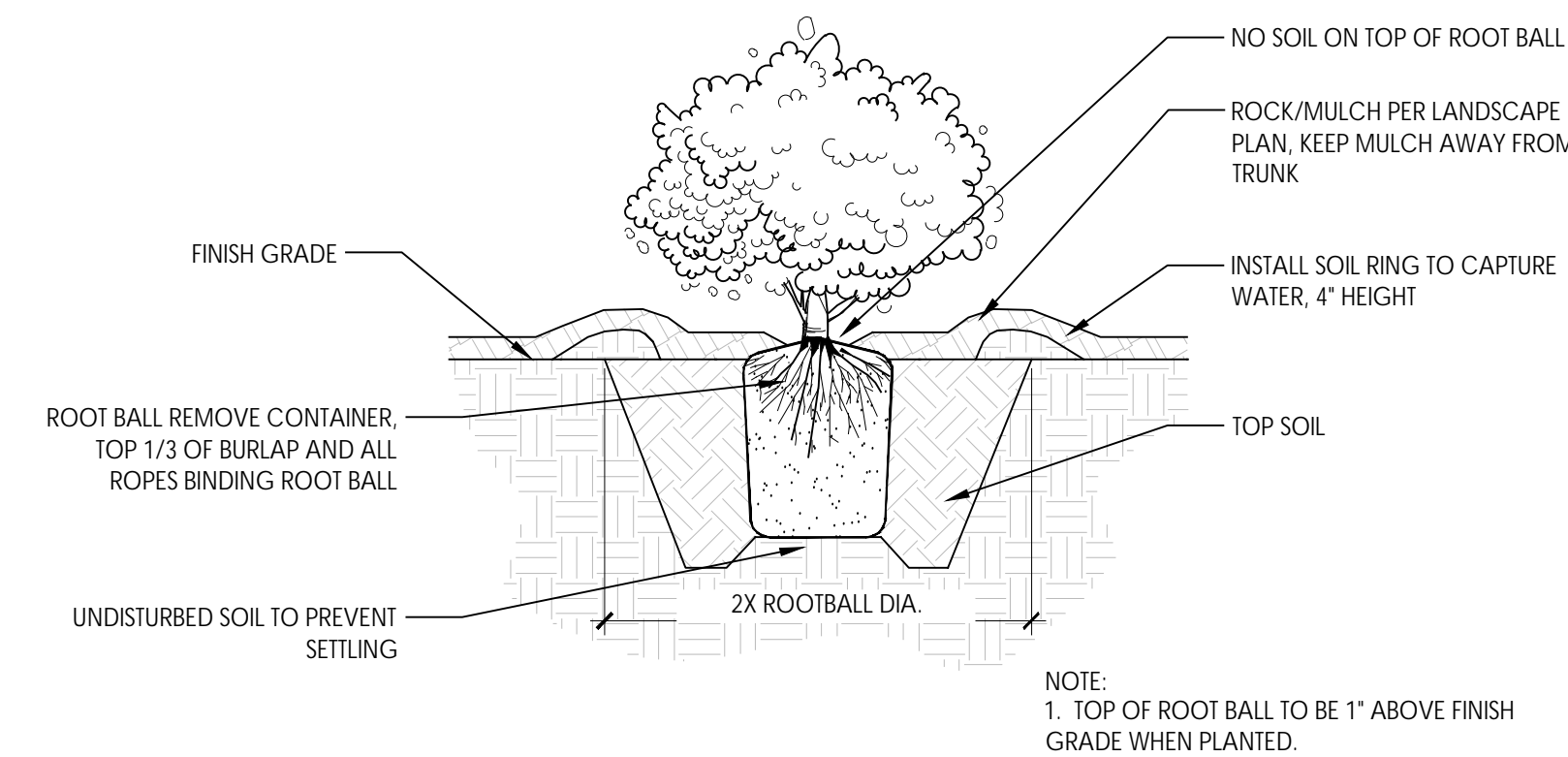
NO EXISTING PRIVATE PROPERTY

NOTES

- FOR EXISTING AND PROPOSED UTILITIES, SEE UTILITY PLAN, CIVIL DRAWINGS
- FOR PROPOSED IMPROVEMENTS, SEE LANDSCAPE PLAN
- TREE REMOVAL OR TREE PLANTING IN THE PUBLIC WAY REQUIRES APPROVAL FROM SALT LAKE CITY URBAN FORESTRY.
- TREE PROTECTION ZONE (TPZ) TO BE DEFINED BY 6' TALL CHAIN LINK FENCING. FENCING TO BE FREE STANDING. NO POSTS DRIVEN INTO THE ROOT SYSTEM. SIGNAGE SHALL BE POSTED ON THE LINEAR SPAN OF THE FENCE PER SALT LAKE CITY URBAN FORESTRY STANDARDS. THE TPZ FENCING AND SIGNAGE WILL REMAIN IN PLACE UNTIL PROJECT COMPLETION OR UNTIL SALT LAKE CITY URBAN FORESTRY HAS PROVIDED WRITTEN AUTHORIZATION ALLOWING REMOVAL OF FENCING.
- NO DIGGING, TRENCHING, GRADING, SILTATION, MASONRY SET-UP, OR STORING OF MATERIALS OR EQUIPMENT IN TPZ.



- NOTES:
- FENCE LOCATION TO BE NO CLOSER TO TRUNK THAN TREE CANOPY DRIP LINE.
 - CONTRACTOR TO MAINTAIN NATURAL SOIL MOISTURE LEVELS.
 - ALL WORK REQUIRED WITHIN TREE PROTECTION FENCING TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF SUCH WORK.
 - NO SOIL SHALL BE REMOVED WITHIN THE DRIP LINE OF THE TREE.
 - WHERE GRASS IS TO BE REMOVED WITHIN THE TREE CANOPY DRIP LINE, CUTTING EQUIPMENT SUCH AS A SOD CUTTER IS PROHIBITED. GRASS SHALL BE KILLED USING HERBICIDE AND REMOVED FROM THE SURFACE OF THE SOIL AFTER IT IS DEAD.



Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 High Point Parkway, Suite 300
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These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.

ALLIANCE HOUSE
1805 SOUTH MAIN STREET
SALT LAKE CITY, UT 84115

PROJECT NO. 22038
DATE: DEC. 12, 2022

REVISIONS

SHEET TITLE:

OVERALL LANDSCAPE PLAN

SHEET NUMBER:

L100

LANDSCAPE



Think
Architecture

Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

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ALLIANCE HOUSE
1805 SOUTH MAIN STREET
SALT LAKE CITY, UT 84115

PROJECT NO. 22038

DATE: DEC. 12, 2022

REVISIONS:

SHEET TITLE:

IRRIGATION PLAN

SHEET NUMBER:

L200

LANDSCAPE

MAIN STREET
(PAVED PUBLIC ROAD, WIDTH VARIES)

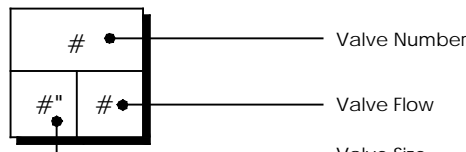
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	RAIN BIRD XCZ-100-PRB-COM	1"	DRIP EMITTER	4.13	43.6		0.72 in/h
2	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIP EMITTERS	4.97	34.9		0.54 in/h

IRRIGATION SCHEDULE

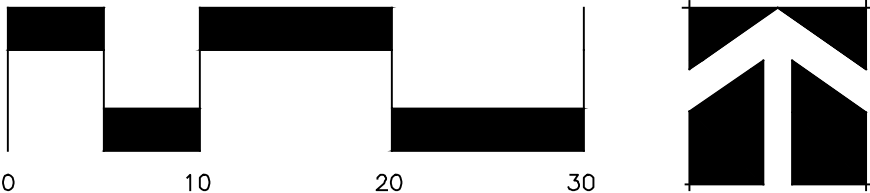
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.	4/L201
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	
	TREE DRIP RING RAINBIRD XFD-09-12 DRIP LINE FORMED INTO 2 CIRCLES - ONE 12" RADIUS, ONE 36" RADIUS.	6/L201
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC INSTALL (1) DRIP RING WITH INDICATOR EMITTER PER DETAIL AT EVERY TREE PLANTED IN PLANTER BED AREAS. INSTALL THE FOLLOWING EMITTERS FOR ALL OTHER PLANTS: Emitter Notes: 1.0 GPH emitters (2 assigned to each 1 gal. plant) 2.0 GPH emitters (2 assigned to each 5 gal. plant)	5/L201
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
	CONTROLLER SMART CONTROLLER WITH FLOW SENSOR. WALL MOUNT. CONTRACTOR TO PROVIDE POWER TO CONTROLLER	
	POINT OF CONNECTION 1"	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	2/L201
	IRRIGATION MAINLINE: PVC SCHEDULE 40	2/L201
	PIPE SLEEVE: PVC SCHEDULE 40	3/L201

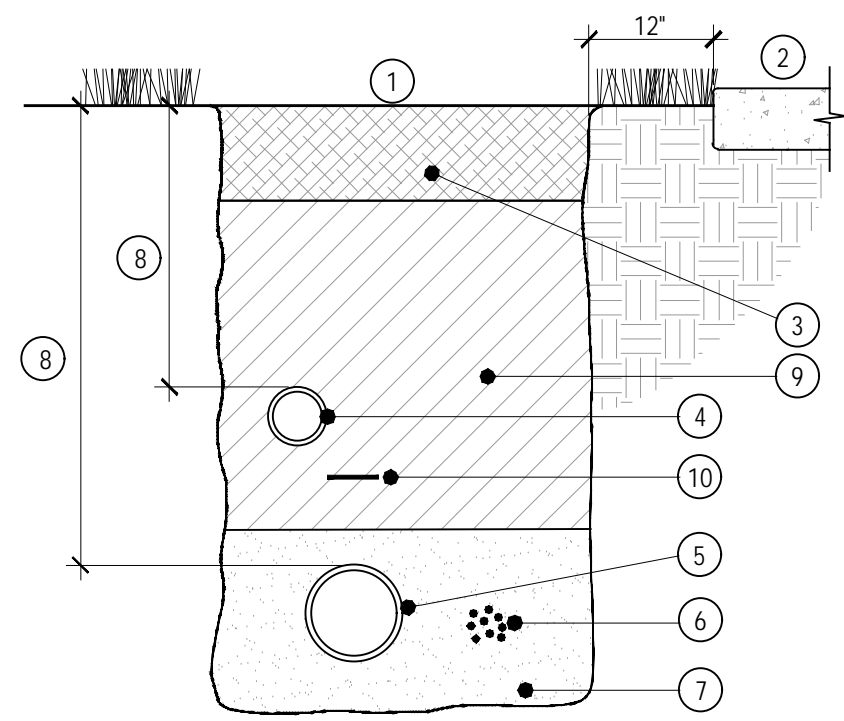
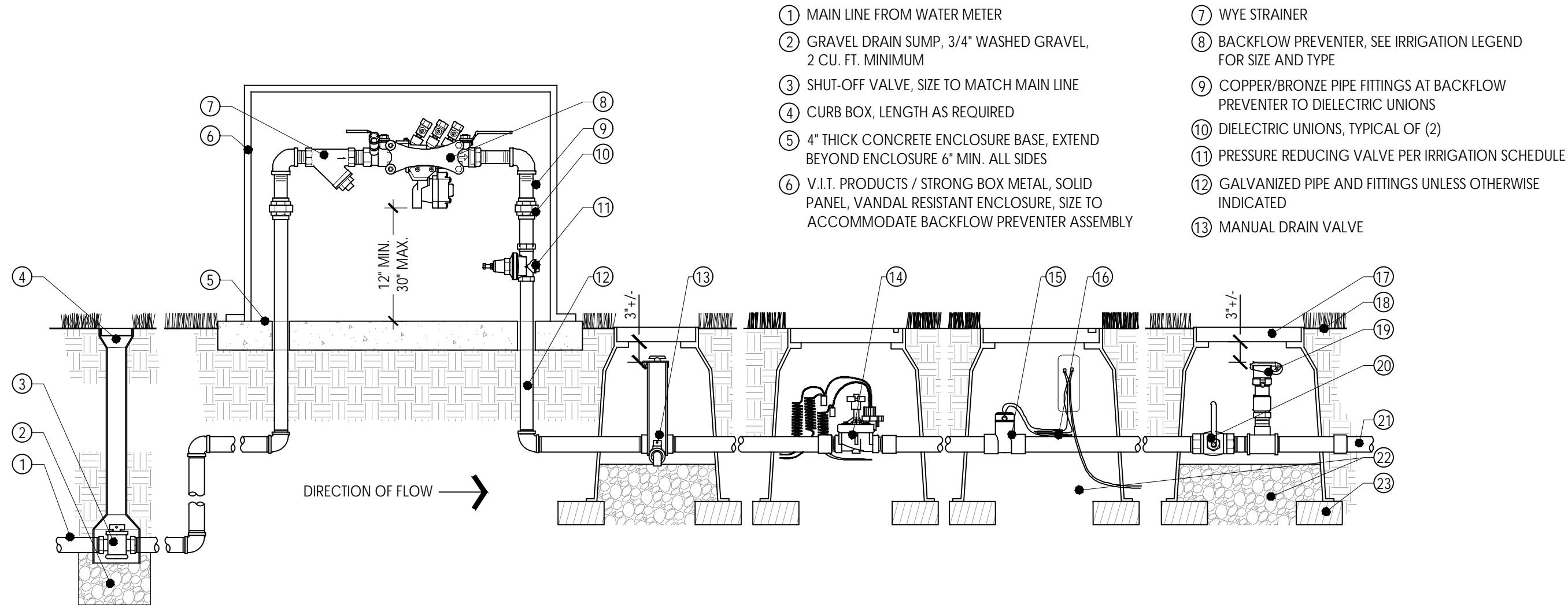
Valve Callout



IRRIGATION NOTES

- WORK SHALL CONFORM WITH STANDARDS OF LOCAL JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE COVERAGE OF ALL IRRIGATED AREAS.
- NO MAJOR REVISIONS IN THE DESIGN WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH CONDITIONS OF THE SITE INCLUDING GRADES, LOCATIONS OF WALKS, STRUCTURES AND UTILITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, AND UNDER HARD SURFACES. SLEEVES INSTALLED AT IMPROPER DEPTHS WILL BE RE-INSTALLED BY BORING METHODS.
- CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM COMPONENTS SHOWN ON THE PLAN WHEN FIELD CONDITIONS, INCLUDING UNKNOWN OBSTRUCTIONS, DIFFERENCES IN GRADE AND AREA DIMENSIONS EXIST THAT ARE NOT INCLUDED IN THE DESIGN. CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT WHEN SUCH OBSTRUCTIONS OR DIFFERENCES OCCUR. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS OR CHANGE ORDERS.
- 120V AC ELECTRICAL POWER SOURCE AT THE CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. COORDINATE WITH GENERAL CONTRACTOR. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER. REFER TO THE SPECIFICATIONS FOR ELECTRICAL REQUIREMENTS
- THE IRRIGATION CONTRACTOR SHALL ADJUST VALVES, FLUSH AND ADJUST IRRIGATION HEADS FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO HARD SURFACES AND ELIMINATE SPRAY ON BUILDINGS AND OTHER VERTICAL SURFACES.
- THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE MATERIAL OR WORK WHICH DOES NOT CONFORM TO THE CONSTRUCTION DOCUMENTS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AS SOON AS POSSIBLE AT THE CONTRACTOR'S EXPENSE.
- GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT, AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR FOR DAMAGE TO ANY PART OF THE PROJECT PROPERTY RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT OR WORKMANSHIP. TO THE SATISFACTION OF THE OWNER. REPAIRS, IF REQUIRED, SHALL BE COMPLETED PROMPTLY AND AT NO COST TO THE OWNER.
- INSTALL CONTROLLERS AND REQUIRED CONTROLLER GROUNDING AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS. COORDINATE LOCATION WITH LANDSCAPE ARCHITECT. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING CONDUITS AND WIRING FROM VALVES TO CONTROLLERS.
- THE IRRIGATION PLAN IS DRAWN DIAGRAMMATICALLY FOR CLARITY. IT IS THE INTENT TO HAVE ALL PIPING, VALVES, AND WIRING TO BE LOCATED IN PLANTING AREAS, WITH THE EXCEPTION OF LOCATIONS REQUIRED FOR HARD SURFACE CROSSINGS. ADDITIONAL SLEEVES WILL BE REQUIRED. ALL IRRIGATION SLEEVES MAY NOT BE SHOWN.
- REFER TO PLANTING PLAN FOR COORDINATING HEAD LOCATIONS WITH TREE LOCATIONS. IRRIGATION HEADS TO BE LOCATED TO MINIMIZE TREE CREATED SPRAY SHADOW.
- ESTIMATED STATIC WATER PRESSURE AT POINT OF CONNECTION: 80 PSI. CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT IN WRITING IF STATIC PRESSURE IS LESS.
- PRIOR TO ACCEPTANCE OF WORK AND AS PART OF THE IRRIGATION PUNCH LIST THE CONTRACTOR SHALL CONDUCT A MEETING WITH THE OWNER TO DEMONSTRATE THE OPERATION OF THE ENTIRE IRRIGATION SYSTEM INCLUDING WINTERIZATION AND START-UP PROCEDURES AND PROVIDE A RECOMMENDED IRRIGATION SCHEDULE. REMOTE OPERATING EQUIPMENT, IF ANY, SHALL BE GIVEN TO OWNER AT THIS TIME.
- ALL VALVE BOXES TO BE SUPPORTED WITH BRICK / CONCRETE MASONRY UNIT.
- LOCATE IRRIGATION CONTROL VALVES IN LANDSCAPE AREAS, ADJACENT TO WALKS OR CURBS.
- IRRIGATION SYSTEM WIRING LOCATED APART FROM IRRIGATION MAIN LINE TO BE PLACED IN GRAY PVC SLEEVES OF ADEQUATE SIZE.
- CONTRACTOR TO CONDUCT A SYSTEM PRESSURE TEST IN THE PRESENCE OF THE LANDSCAPE ARCHITECT PRIOR TO BACKFILLING MAIN LINE TRENCHES. CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT TWO WORKING DAYS MINIMUM PRIOR TO CONDUCTING THE SYSTEM PRESSURE TEST. PRESSURE TEST MAIN LINE AND ALL VALVES INSTALLED AT 100 PSI FOR 2 HOURS MINIMUM.





- 1 IF LAWN IS EXISTING, REPLACE SOD AS PER OWNER'S SPECIFICATIONS
- 2 ADJACENT HARD SURFACE
- 3 TOPSOIL FREE FROM ROCKS GREATER THAN 1" DIAMETER. LAYER THICKNESS AS INDICATED IN PLANTING NOTES
- 4 NON-PRESSURE LATERAL LINE
- 5 PRESSURE MAIN LINE
- 6 DIRECT BURIAL, LOW VOLTAGE CONTROL WIRES: TAPE AND BUNDLE AT 10" O.C. PLACE 6" EITHER SIDE, OR 6" BELOW MAIN LINE PIPE.
- 7 MORTAR SAND BEDDING 2" BELOW AND ABOVE PIPE
- 8 PIPE DEPTHS:
MAIN LINE: 24 - 30" COVER
LATERAL LINE: 8 - 16" COVER
- 9 BACKFILL SOIL FREE FROM ROCKS GREATER THAN 1" DIAMETER.
- 10 DECTABLE WARNING TAPE AT MAIN LINE

NOTE
1. LOCATION OF BACKFLOW PREVENTER TO BE APPROVED BY LANDSCAPE ARCHITECT.
2. BACKFLOW PREVENTER TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODE.

1 MAIN LINE CONNECTION ASSEMBLY WITH PRESSURE REDUCING VALVE

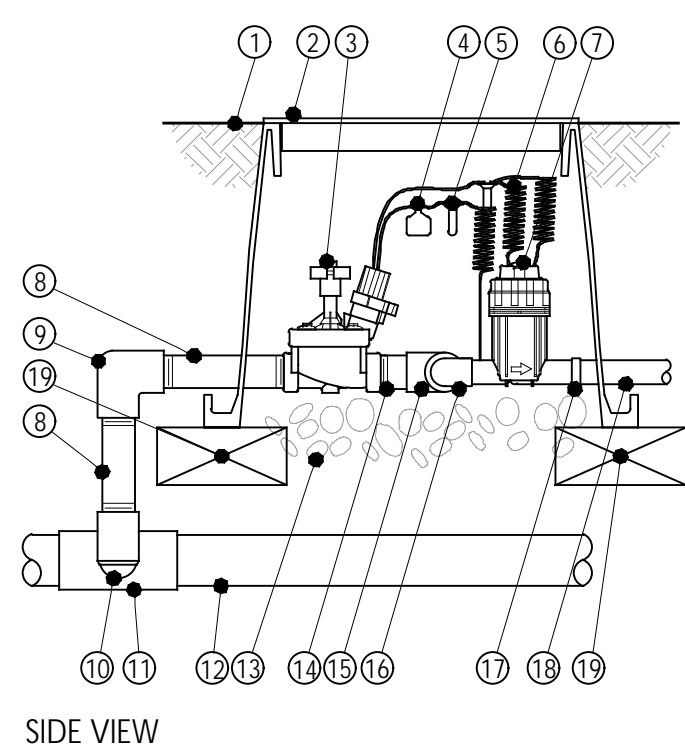
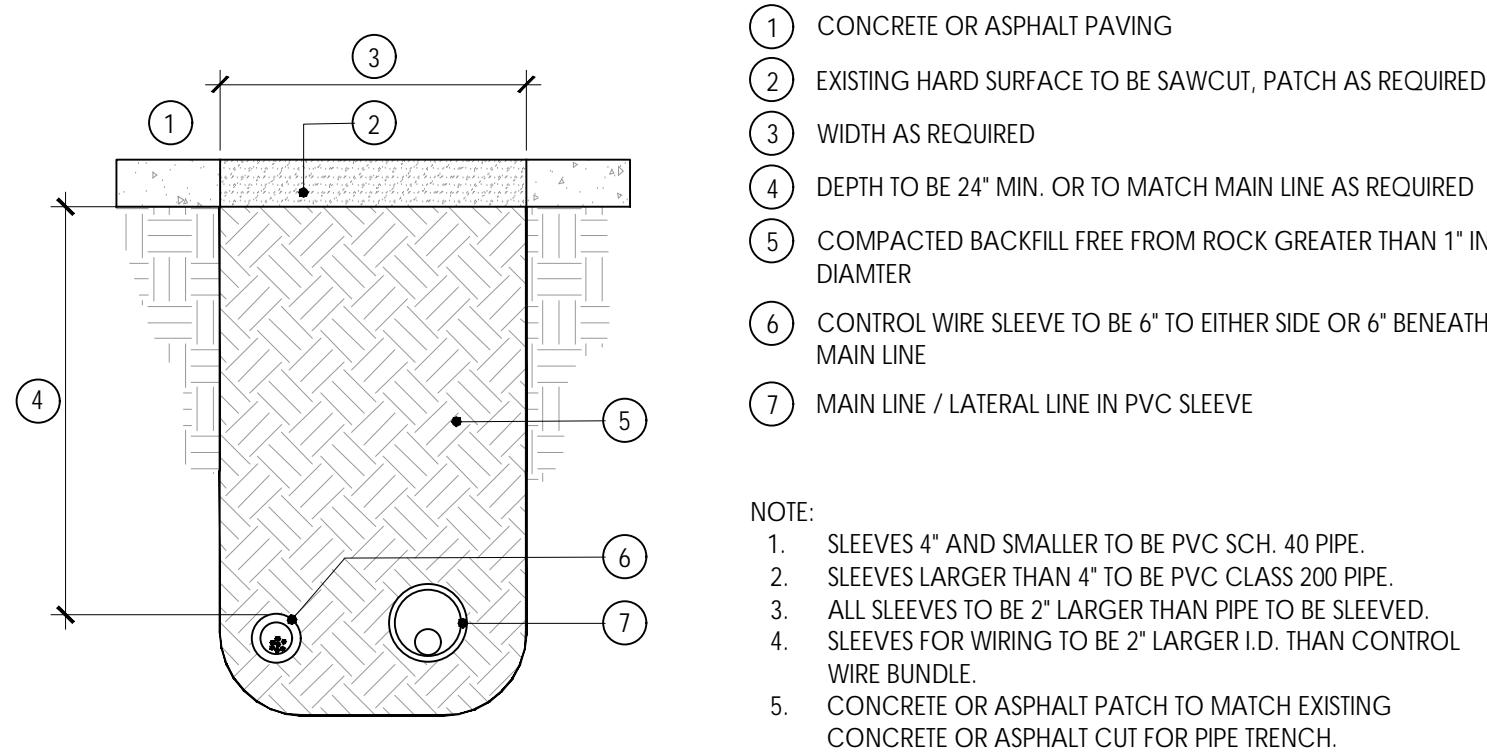
NOT TO SCALE

T-IR-EQU-22

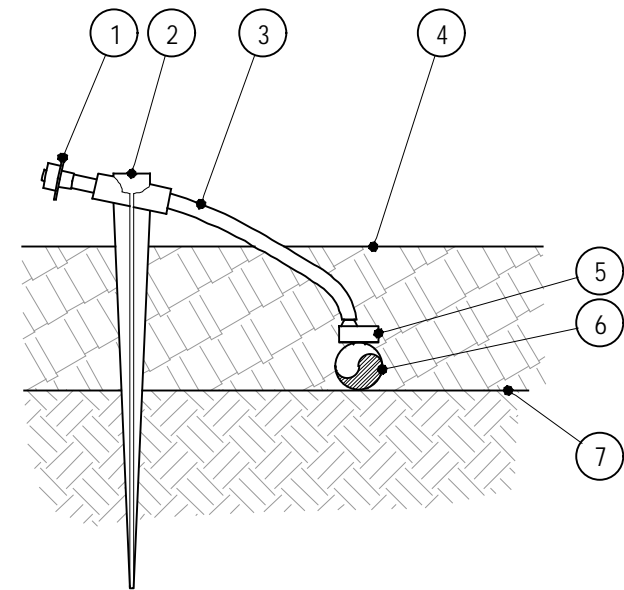
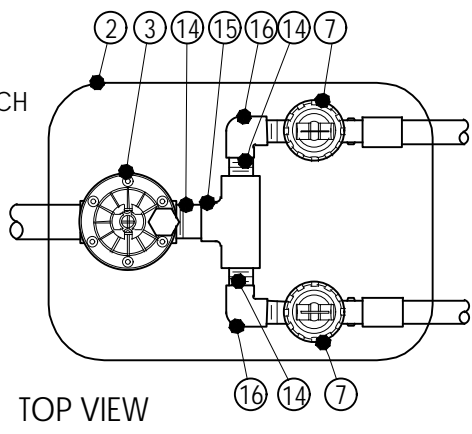
2 TRENCH DETAIL

NOT TO SCALE

T-IR-EQU-01



- 1 FINISH GRADE
- 2 VALVE BOX WITH COVER
- 3 DRIP ZONE CONTROL KIT
- 4 ID TAG
- 5 WATERPROOF WIRE CONNECTION
- 6 30-INCH LINEAR LENGTH OF WIRE, COILED
- 7 PRESSURE REGULATING FILTER
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 MAINLINE PIPE
- 13 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC SCH 40 FEMALE ADAPTOR
- 15 LATERAL PIPE
- 16 BRICK



- 1 DIFFUSER BUG CAP
- 2 TUBING STAKE
- 3 DISTRIBUTION TUBING
- 4 TOP OF MULCH
- 5 SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER
- 6 1/2" POLYETHYLENE TUBING
- 7 FINISH GRADE

NOTES:
1. INSTALL EMITTER PER MANUFACTURER'S WRITTEN INSTRUCTIONS

3 SLEEVE DETAIL

NOT TO SCALE

T-IR-EQU-02

4 DRIP CONTROL ZONE KIT (UP TO 1.5")

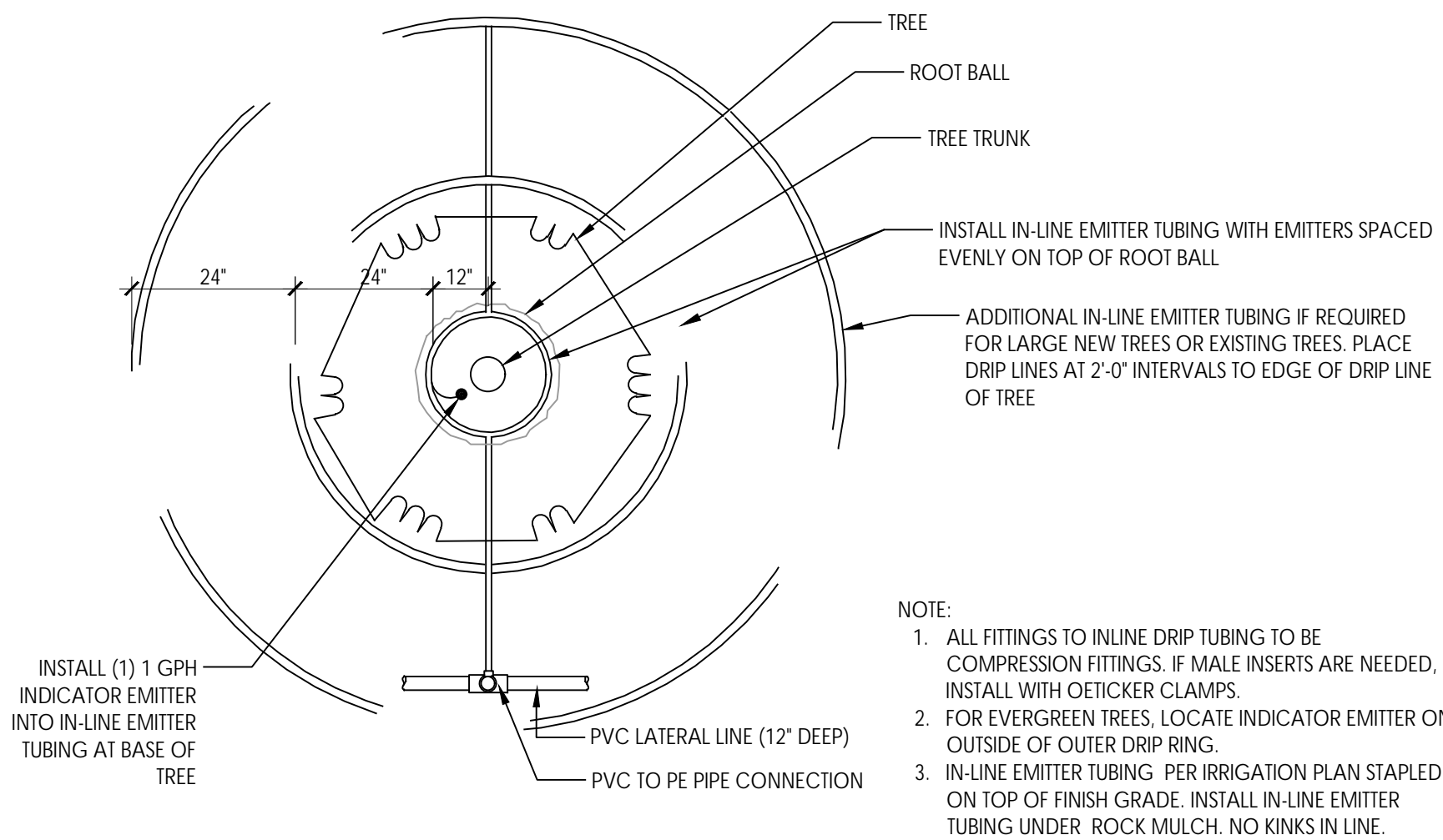
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T-IR-VAL-06

5 DRIP EMITTER WITH DISTRIBUTION TUBING

NOT TO SCALE

T-IR-DRI-02

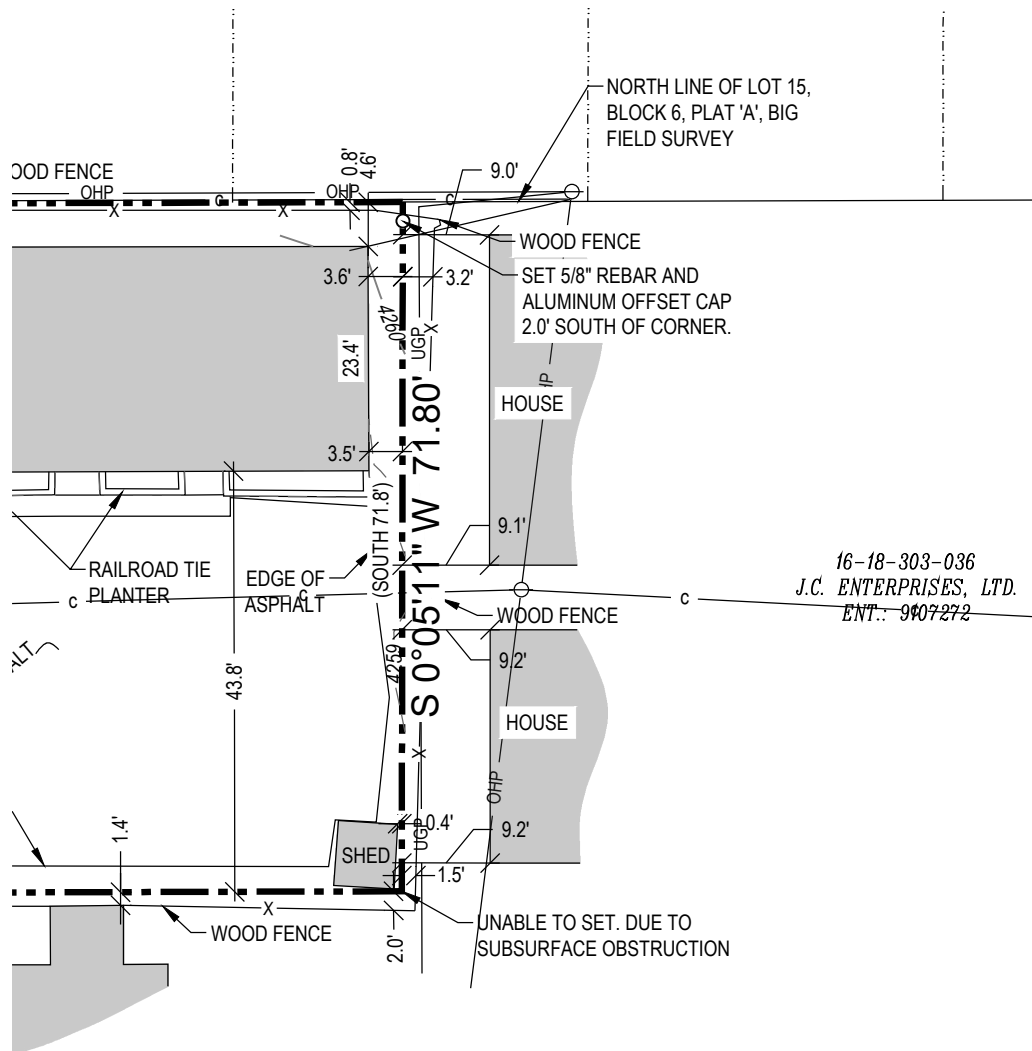


NOTE:
1. ALL FITTINGS TO INLINE DRIP TUBING TO BE COMPRESSION FITTINGS. IF MALE INSERTS ARE NEEDED, INSTALL WITH OETICKER CLAMPS.
2. FOR EVERGREEN TREES, LOCATE INDICATOR EMITTER ON OUTSIDE OF OUTER DRIP RING.
3. IN-LINE EMITTER TUBING PER IRRIGATION PLAN STAPLED ON TOP OF FINISH GRADE. INSTALL IN-LINE EMITTER TUBING UNDER ROCK MULCH. NO KINKS IN LINE.

6 TREE IN-LINE EMITTER TUBING LAYOUT (PLANTER AREAS)

NOT TO SCALE

T-IR-DRI-03



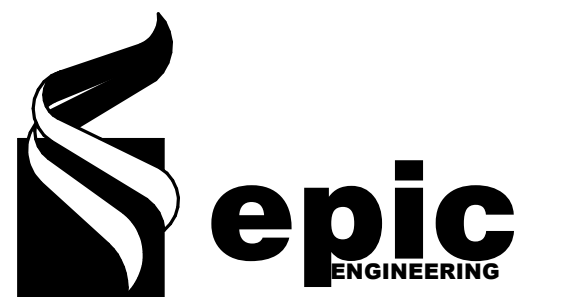
LIGHTING FIXTURE SCHEDULE						
Mark	Description	Manufacturer	Model	Wattage	Lamp	Count
F	FESTOON LIGHT	Tokistar	Exibitor BK-24-UBIW-G19-C (EX-MDA-BK)	2 W	LED	4
P1	Full cut-off pole light, H=16'	Lithonia	RSX1 LED P1-30K-R4	51 W	LED	5
RC1	Recessed 6" Can light	Elite Lighting	B61C-1500L-DIM10-MVOLT-MD-30K-90+-AT	17 W	LED	8
WS1	Wall Sconce down light	Kuzco	BYRON EW3406-3000K	9 W	LED	15

CONSTRUCTION NOTES

1. GRID VALUES ARE FOOT-CANDLES AT GROUND LEVEL.

DATE _____

DECEMBER 2022



REVISIONS

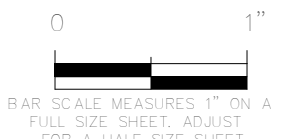
MARK	DATE	DESCRIPTION
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DRAWN:	KDC
DESIGNER:	KDC
REVIEWED:	DIO

PROJECT #	00-00-000
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SCALES

1" = 10'-0"

**PROJECT NAME:**

ALLIANCE HOUSE

PROJECT LOCATION:

**1805 S. MAIN STREET
SALT LAKE CITY, UT**

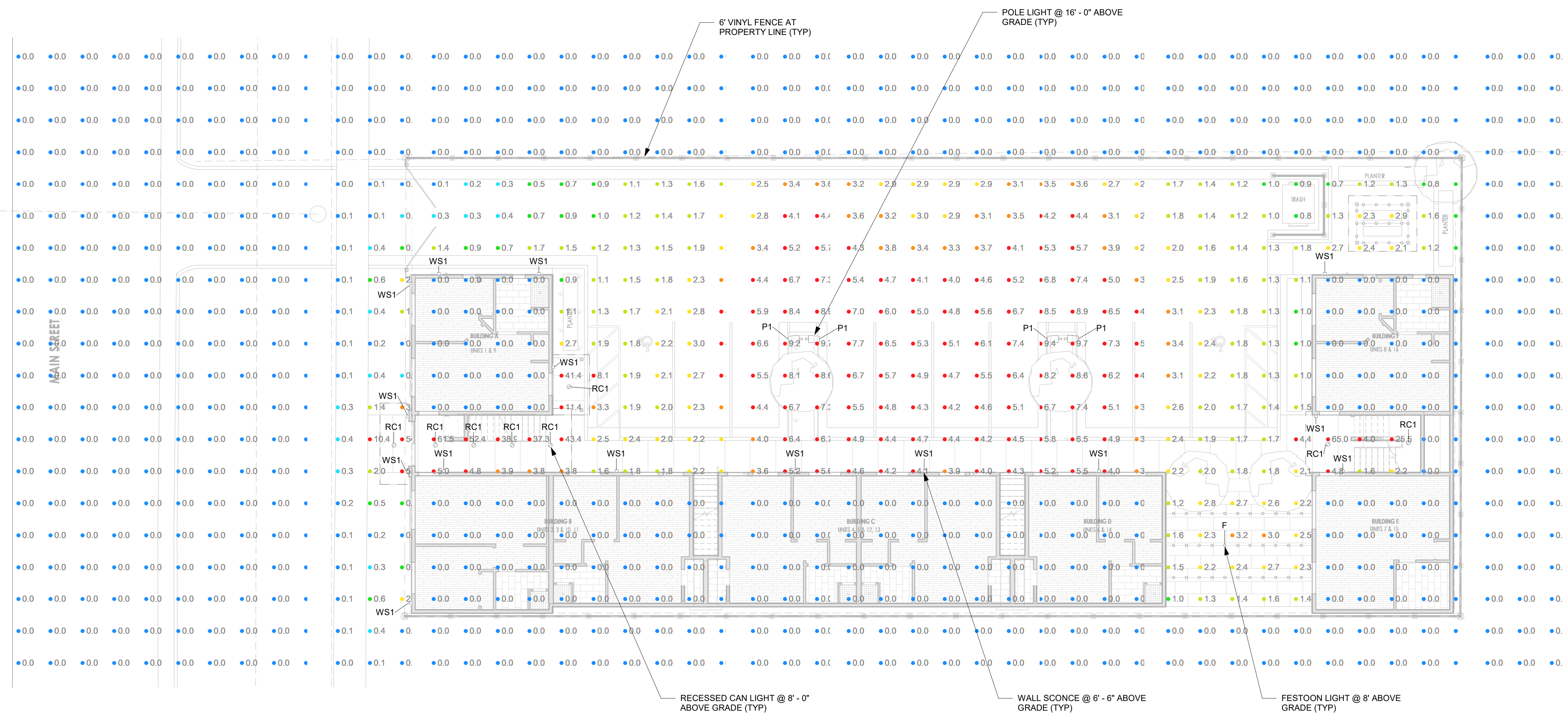
SHEET TITLE:

PHOTOMETRIC SITE LIGHTING PLAN

PLAN SET:**PERMIT**

SHEET

E1.2



① **PHOTOMETRIC PLAN**
1" = 10'-0"

